

CPL | Architecture Engineering Planning
26 IBM ROAD
POUGHKEEPSIE, NY 12601
CPLteam.com

PROJECT INFORMATION

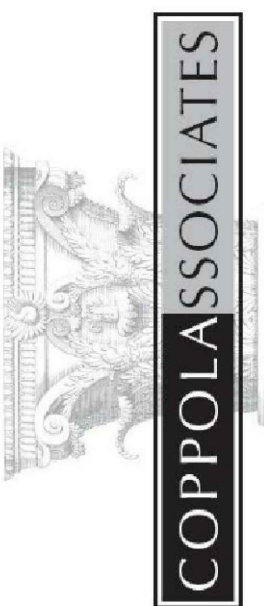
Project Number
15925.00
Client Name
KEARNEY REALTY & DEVELOPMENT
GROUP, INC
Project Name
THE HAMLET AT
RHINEBECK

Project Address
ASTOR DR
RHINEBECK, NY 12572
SIB Number
N/A

REVISION SCHEDULE

No. Date Description

**FOR REVIEW ONLY
NOT FOR PERMIT OR
CONSTRUCTION**

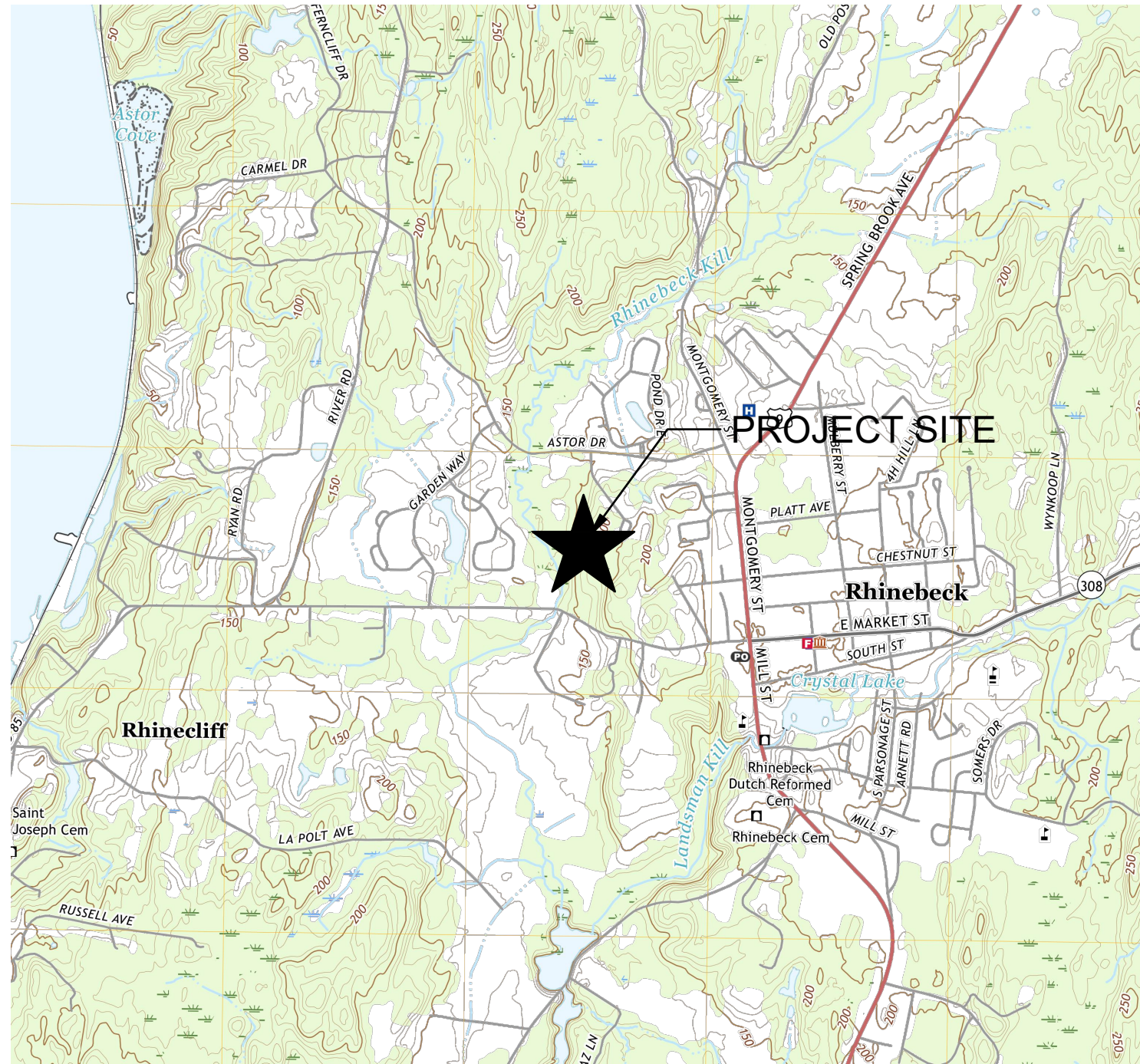


IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO SEAL OR SIGN ANY PLAN, SPECIFICATION OR REPORT BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR OR ALTERED. THE ALTERING PARTY SHALL AFFIX TO THE PLAN, SPECIFICATION OR REPORT THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

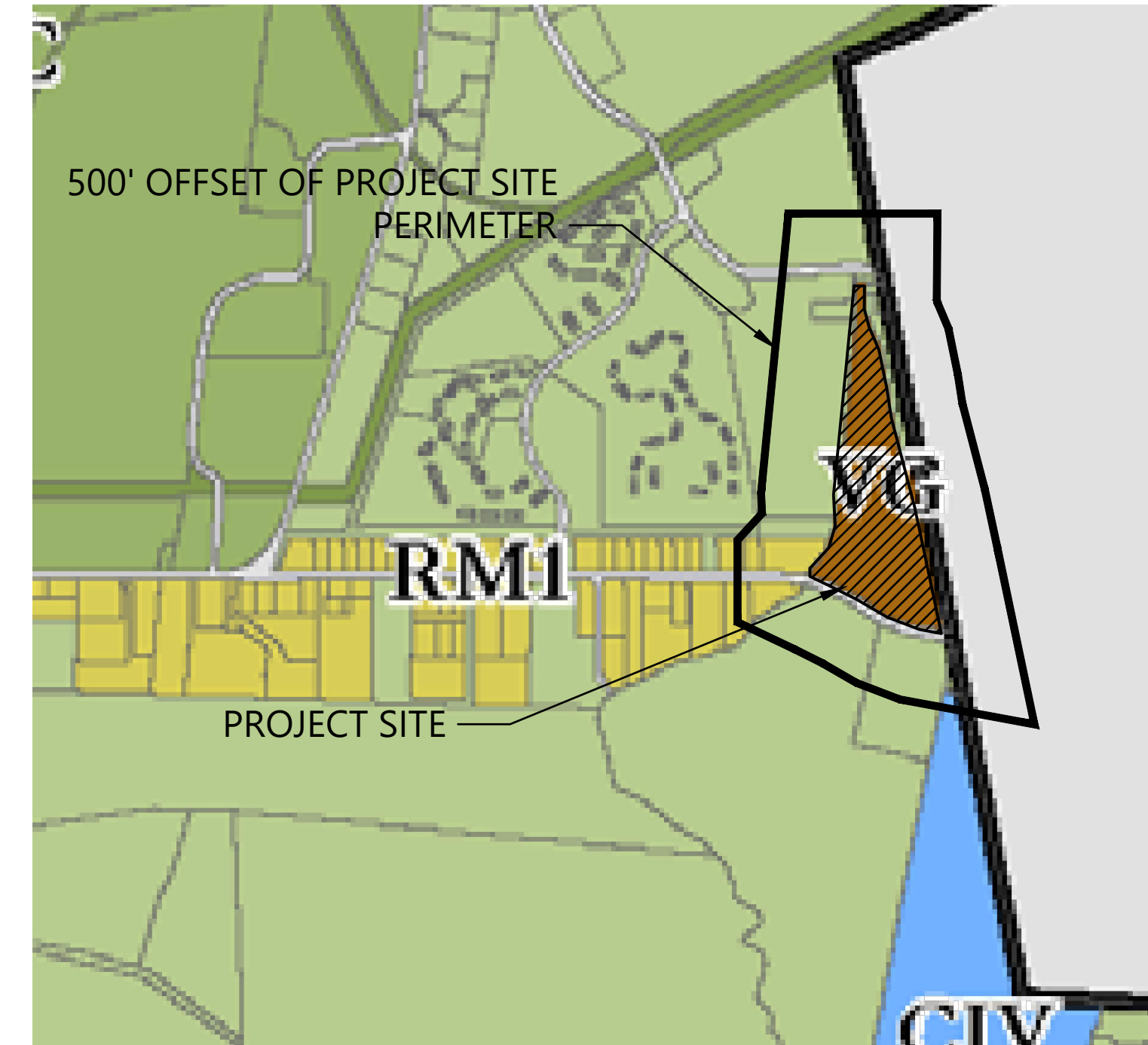
SHEET INFORMATION

Issued 3/9/2022 Scale AS NOTED
Project Status DESIGN
Drawn By KRS Checked By ALL
Drawing Title TITLE SHEET

Drawing Number HAR C001 Revision Number



LOCATION MAP: SCALE 1" = 2000'
USGS PANEL KINGSTON EAST, NY (2019)



ZONING MAP: SCALE 1" = 1000'

ZONING MAP NOTES:

1. PARCEL # (AC): 135089-6170-00-223336 (23.3 AC)
2. PARCEL IS LOCATED IN RHINEBECK CENTRAL SCHOOL DISTRICT.
3. PARCEL ZONING: VILLAGE GATEWAY
4. PRIORITY CONSERVATION AREA FERNCLEIFF-SNYDER SWAMP COMPLEX IS WITHIN 500 FEET NORTH OF PROJECT. NO IMPACT IS PROPOSED.
5. 108 RHINECLIFF RD (PARCEL# 135089-6170-00-148140) IS LISTED IN THE TOWN COMPREHENSIVE PLAN AS A PLACE OF HISTORIC IMPORTANCE.

THE HAMLET AT RHINEBECK

KEARNEY REALTY GROUP, INC & HOUSING PARTNERSHIP DEVELOPMENT CORPORATION

ASTOR DRIVE
RHINEBECK, NY
03/09/2022
REVISED 06/15/2022

Drawing List:

Engineer / Architect:

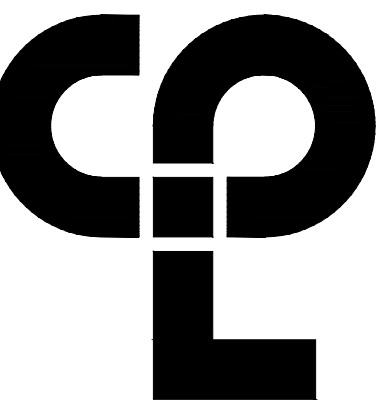
C001 - Title Sheet.....	CPL
C002 - Notes.....	CPL
C100 - Existing Conditions.....	CPL
C101 - Environmental Analysis Map.....	CPL
C200 - Overall Site Plan.....	CPL
C201 - Enlarged Site Plan.....	CPL (NOT INCLUDED)
C300 - Overall Grading Plan.....	CPL (NOT INCLUDED)
C301 - Enlarged Grading Plan.....	CPL (NOT INCLUDED)
C302 - Site Distance Plan and Profiles.....	CPL (NOT INCLUDED)
C400 - Overall Utility Plan.....	CPL (NOT INCLUDED)
C401 - Enlarged Utility Plan - 1.....	CPL (NOT INCLUDED)
C402 - Enlarged Utility Plan - 2.....	CPL (NOT INCLUDED)
C500 - Site Details - 1.....	CPL
C501 - Site Details - 2.....	CPL
C502 - Site Details - 3.....	CPL
C510 - Water Details.....	CPL
C520 - Sewer Details.....	CPL
C530 - Stormwater Details - 1.....	CPL
C531 - Stormwater Details - 2.....	CPL
C540 - ESC Details - 1.....	CPL
C541 - ESC Details - 2.....	CPL
L500 - Planting Plan Overall.....	CPL
L501 - Planting Plan 1.....	CPL
L502 - Planting Plan 2.....	CPL
L503 - Planting Plan 3.....	CPL
L504 - Planting Plan 4.....	CPL
L601 - Landscape Details.....	CPL
A1 - Building #1 - Floor Plans.....	Coppola Associates
A2 - Building #1 - Elevations.....	Coppola Associates
A3 - Building #2, #3, #4 - Floor Plans.....	Coppola Associates
A4 - Building #2, #3, #4 - Elevations.....	Coppola Associates

Plotted By: Eric Post

Date last plotted: 3/8/2022 3:11 PM

Date last accessed: 3/8/2022 2:36 PM

Sheet size: 24x36
Drawing Name: S:\Projects\Kearney Rhinebeck.MF\01_Survey\AD_Design\06_CAD\AutoCAD\G:\M\COV\HAR_C000_Covr.dwg



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SHEET INFORMATION

Issued 3/9/2022 Scale 1" = 100'

Project Status

DESIGN

Drawn By KRS Checked By ALL

Drawing Title

EXISTING CONDITIONS

Drawing Number Revision Number

HAR
C100



- EXISTING CONDITIONS PLAN NOTES:**
- SHADING REPRESENTS SLOPES EQUAL TO OR GREATER THAN 25%.
 - TOPOGRAPHIC CONTOUR INTERVALS OF 2 AND 10 FEET PER AERIAL SURVEY BY THE CHAZEN COMPANIES.
 - PROPERTY LINES BASED ON BOUNDARY SURVEY MAP PREPARED BY CPL DATED 1/4/2021, LAST REVISED 1/11/2021.
 - FEDERAL WETLAND BOUNDARIES ARE BASED ON DELINEATION ON 4/29/2021 BY ECOLOGICAL SOLUTIONS. WETLAND FLAGS LOCATED BY CPL ON 4/30/2021.

MAP REFERENCE NOTE:

- "MAP OF THE TURNPIKE ROAD" FM# 28
- "THE RHINEBECK-RHINECLIFF COUNTY HIGHWAY" SH 1530

- LEGEND**
- NO PHYSICAL BOUNDS
 - STONE WALL
 - WATER MAIN
 - UNDER GROUND ELECTRIC
 - TREE LINE
 - UTILITY POLE
 - GUY
 - HYDRANT
 - WATER VALVE
 - MANHOLE

- CERTIFIED TO:**
- ALL NEW YORK TITLE
 - NEW YORK CITY HOUSING PARTNERSHIP
 - THE KEARNEY REALTY & DEVELOPMENT GROUP, INC.
 - NORTHERN DUTCHESS HOSPITAL

PROPERTY INFORMATION

RHINECLIFF ROAD
 RHINEBECK, NY 12572
 PARCEL # 135089-6170-00-223336 (TOWN OF RHINEBECK)

W. MARKET STREET
 RHINEBECK, NY 12572
 PARCEL # 135001-6170-14-295280 (VILLAGE OF RHINEBECK)
 L. 1221, P. 378

NOTE:

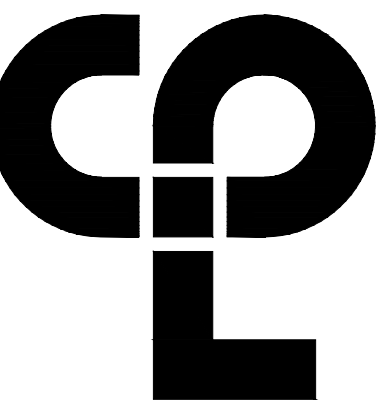
THE LOCATION OF UNDERGROUND UTILITIES HEREON ARE BASED ON THE OBSERVED EVIDENCE OF ABOVEGROUND APPURTENANCES ONLY, PROVIDED TO THE SURVEYOR BY VARIOUS PUBLIC ENTITIES AND SUB-TERRAIN MARK-OUT PERFORMED BY EACH UTILITY COMPANY. THE SURVEYOR HAS NOT BEEN PROVIDED WITH UNDERGROUND PLANS TO DETERMINE THE LOCATION OF SUB-TERRAIN USES.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VOID TRUE COPIES.

ONLY COPIES OF THE ORIGINAL OF THIS SURVEY MAP MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VOID TRUE COPIES.

IT IS HEREBY CERTIFIED THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, LENDING INSTITUTION AND THE GOVERNMENTAL AGENCY LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NON-TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.



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SHEET INFORMATION

Issued 3/9/2022 Scale 1" = 100'

Project Status DESIGN

Drawn By EP Checked By ALL

Drawing Title ENVIRONMENTAL ANALYSIS MAP

Drawing Number Revision Number

**HAR
 C101**

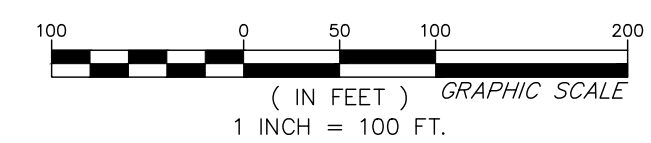


EXISTING CONDITIONS PLAN NOTES:

1. SHADING REPRESENTS SLOPES EQUAL TO OR GREATER THAN 25%.
2. TOPOGRAPHIC CONTOUR INTERVALS OF 2 AND 10 FEET PER AERIAL SURVEY BY THE CHAZEN COMPANIES.
3. PROPERTY LINES BASED ON BOUNDARY SURVEY MAP PREPARED BY CPL DATED 1/4/2021, LAST REVISED 1/11/2021.
4. FEDERAL WETLAND BOUNDARIES ARE BASED ON DELINEATION ON 4/29/2021 BY ECOLOGICAL SOLUTIONS. WETLAND FLAGS LOCATED BY CPL ON 4/30/2021.
5. ECOLOGICAL SIGNIFICANT HABITAT: UPLAND HARDWOOD FOREST, PER HUDSONIA LTD REPORT DATED JULY 2007.

LEGEND

- WETLAND BOUNDARY
- WETLAND ADJACENT AREA BOUNDARY
- PROPERTY LINE
- 100-YR FLOOD PLAIN BOUNDARY
- STREAM

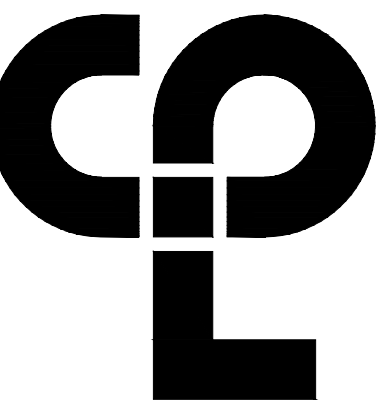


Plotted By: Eric Post

Date last plotted: 3/8/2022 3:12 PM

Date last accessed: 3/4/2022 9:35 AM

Sheet size: 24x36
 Drawing Name: S:\Projects\Kearney\Rhinebeck\MF\01_Survey\ADesign\G:\CAD\AutoCAD\G:\M\C\1\HAR_C101_Environmental.dwg



ZONING BULK TABLE - VILLAGE GATEWAY (VG)		
STANDARD	REQUIRED	PROVIDED
MAXIMUM DENSITY	1 DU/6,000 SF	1 DU/12,487 SF
MIN. BUILDING SETBACKS		
FRONT	10 FT MAX./25 FT MIN.	659 FT
SIDE	10 FT	12 FT
REAR	25 FT	784 FT
MIN. PARKING SETBACKS		
FRONT	N/A	N/A
SIDE	N/A	N/A
REAR	N/A	N/A
MAX. BUILDING HEIGHT	35 FT	33 FT
MAX. BUILDING COVERAGE	30%	12.40%
MIN. LOT COVERAGE	N/A	N/A
MIN. LOT WIDTH	60 FT	71 FT
MIN. LOT FRONTAGE	60 FT	993 FT
MIN. OPEN SPACE	N/A	N/A

LOT AREA = 23.3 AC

VEHICULAR PARKING REQUIREMENTS		
USE	REQUIRED	PROVIDED
MULTIFAMILY DWELLING (80 UNITS)	1.5 SPACES PER DWELLING UNIT	
	1.5 x 80 DU	
ADA SPACES	8	8
LAND BANKED SPACES		4
TOTAL SPACES	120	110

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REVISION SCHEDULE

No.	Date	Description
1	05/24/2022	PER TOWN BOARD COMMENTS
2	06/02/2022	PER BOARD COMMENTS

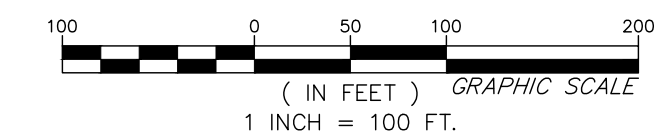
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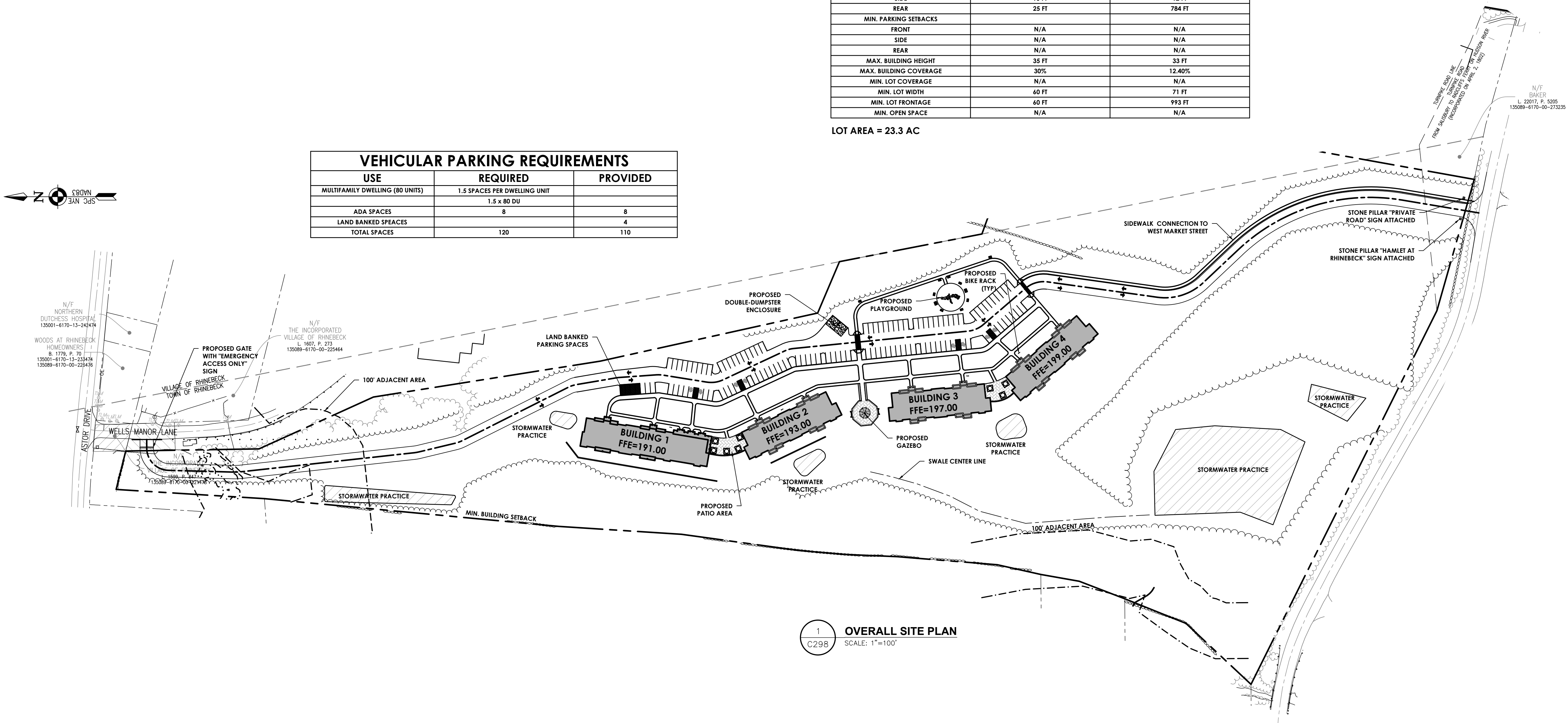
SHEET INFORMATION

Issued
3/9/2022
 Scale
1" = 100'
 Project Status
DESIGN
 Drawn By
KRS
 Checked By
ALL
 Drawing Title
OVERALL SITE PLAN

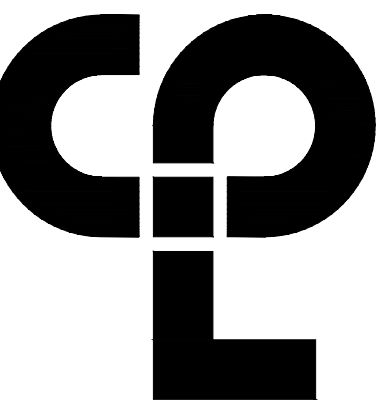
Drawing Number
HAR C200
 Revision Number
1



1 OVERALL SITE PLAN
 SCALE: 1"=100'



Sheet size: 24x36
 Drawing Name: S:\Projects\Kearney\Rhinebeck.MF\01_Survey\Design\06_CAD\AutoCAD\Gim\C2\HAR_C200_Site.dwg
 Date last accessed: 6/3/2022 9:59 AM
 Date last plotted: 6/7/2022 12:59 PM
 Plotted By: Andy Lecan



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 15925.00
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SHEET INFORMATION

Issued 3/9/2022 Scale AS NOTED

Project Status DESIGN

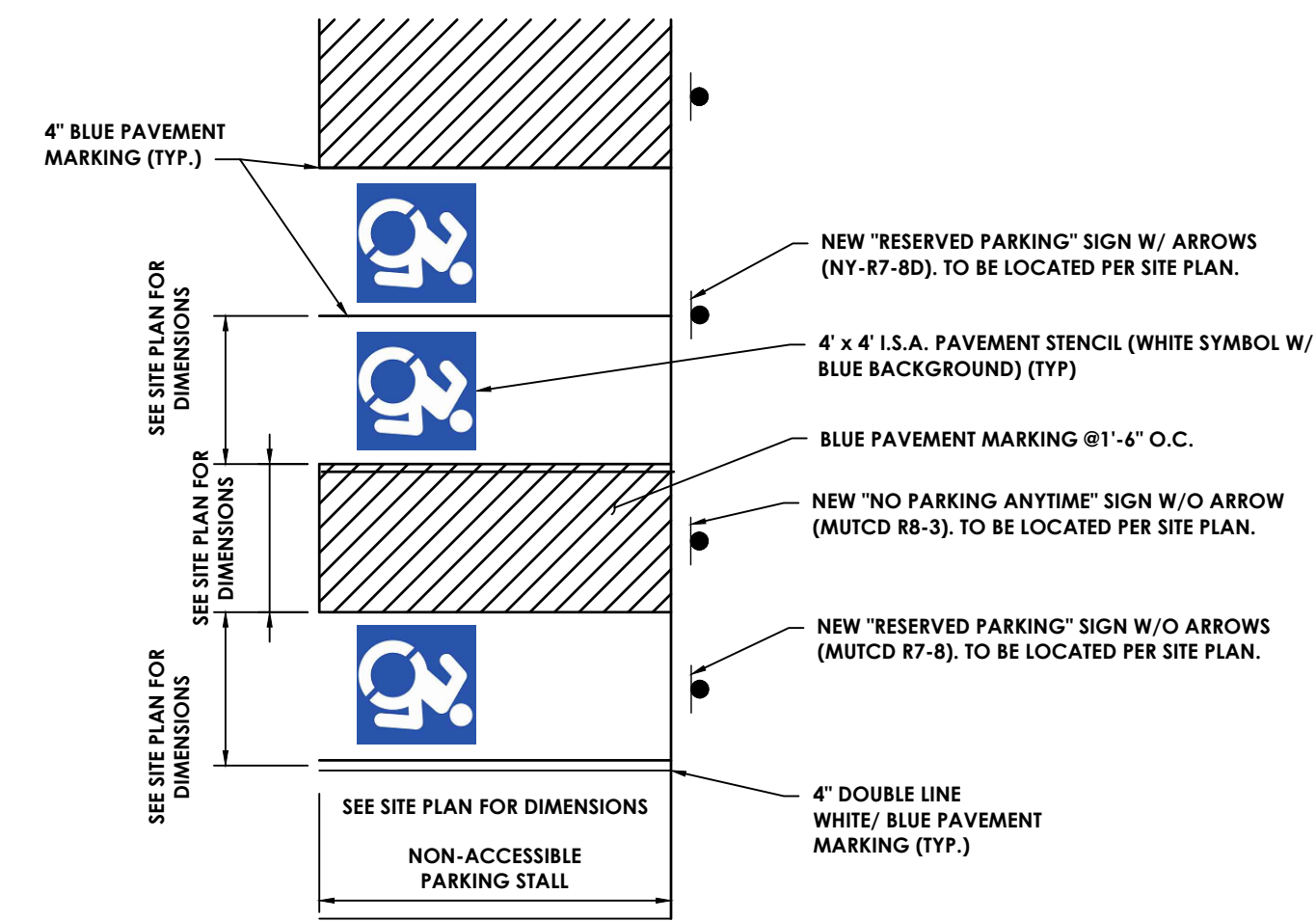
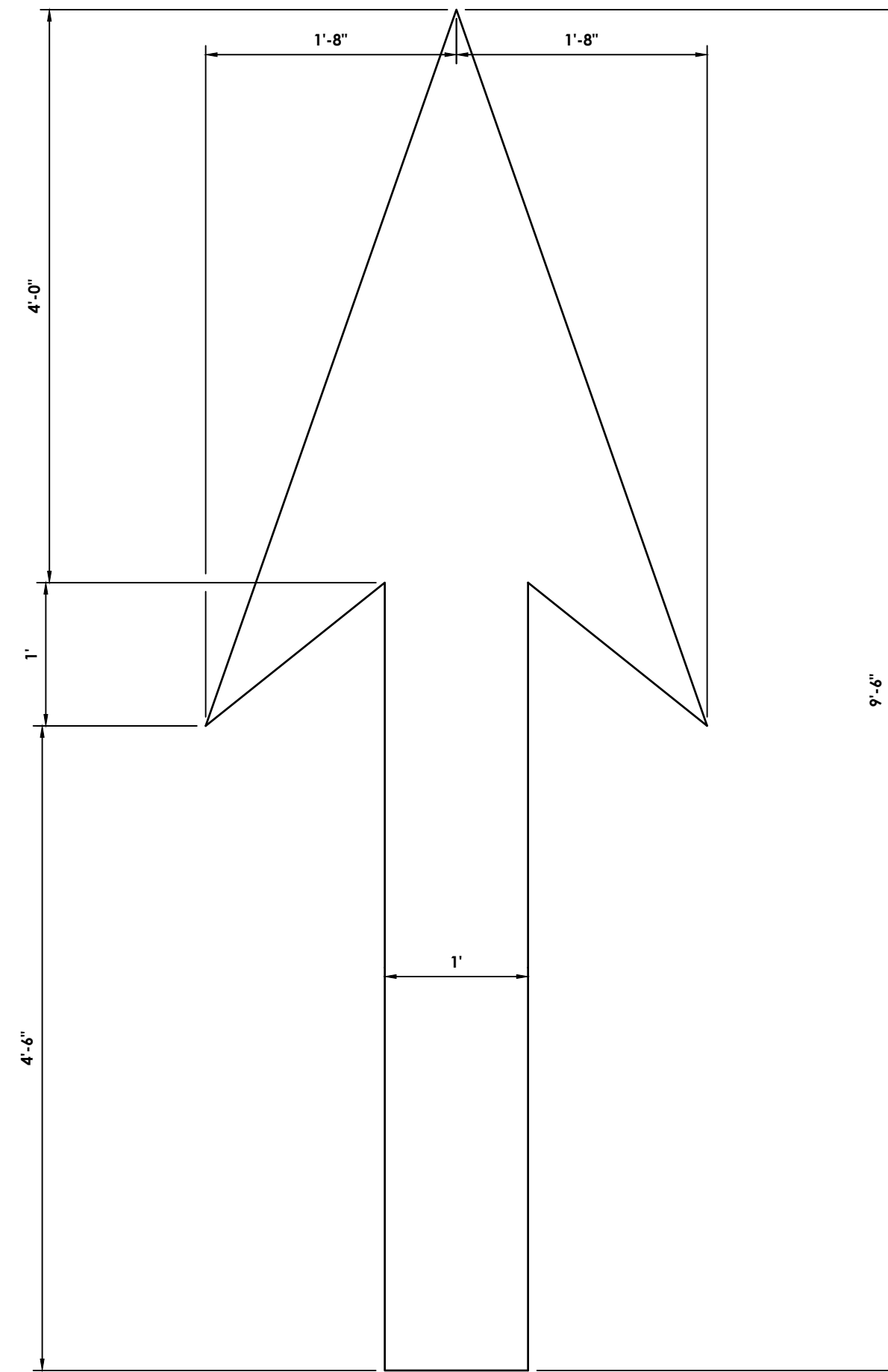
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Drawing Title

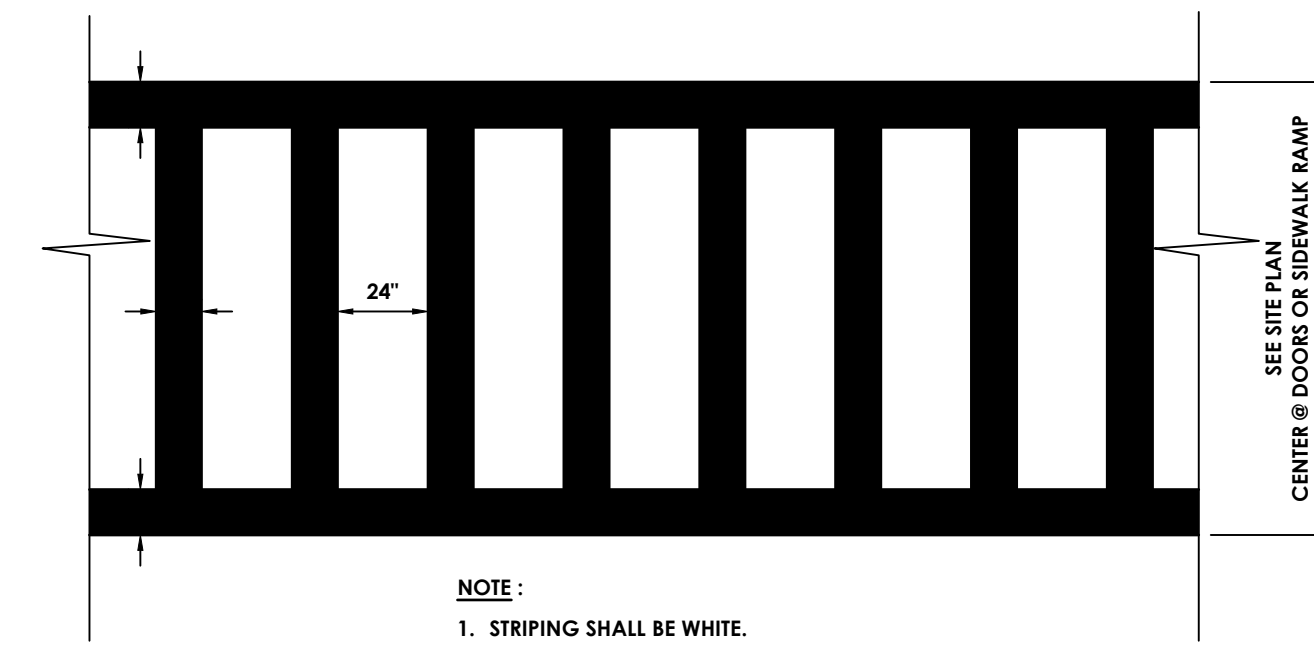
SITE DETAILS - 1

Drawing Number Revision Number

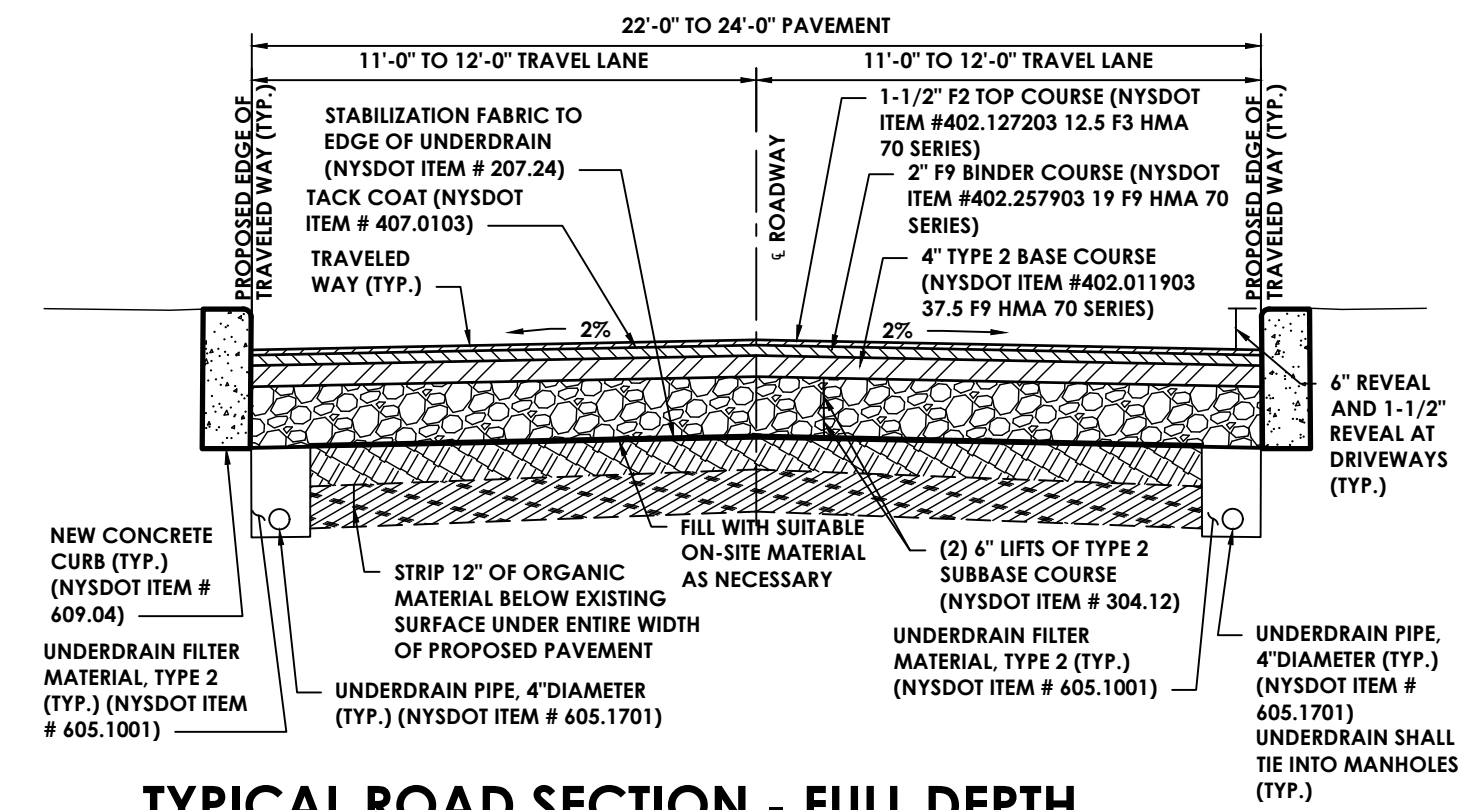
HAR
 C500



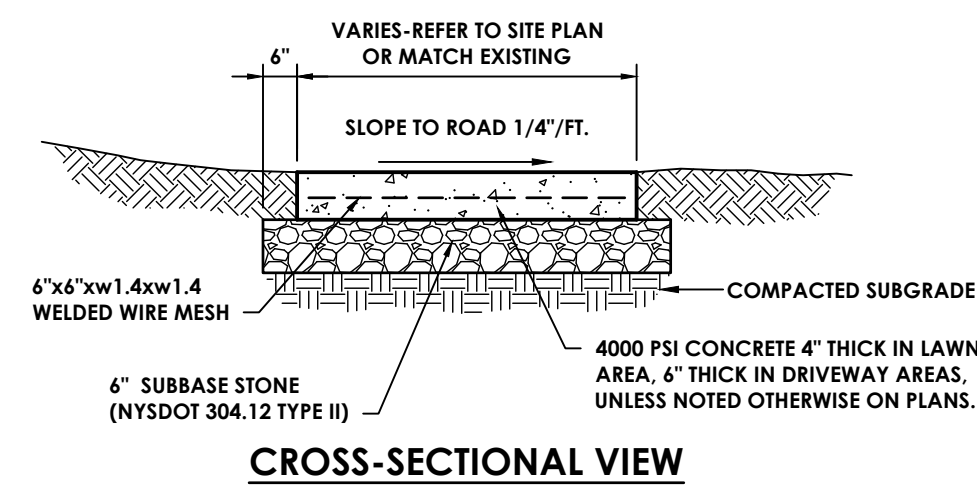
TYPICAL ACCESSIBLE PARKING STRIPING
 N.T.S.



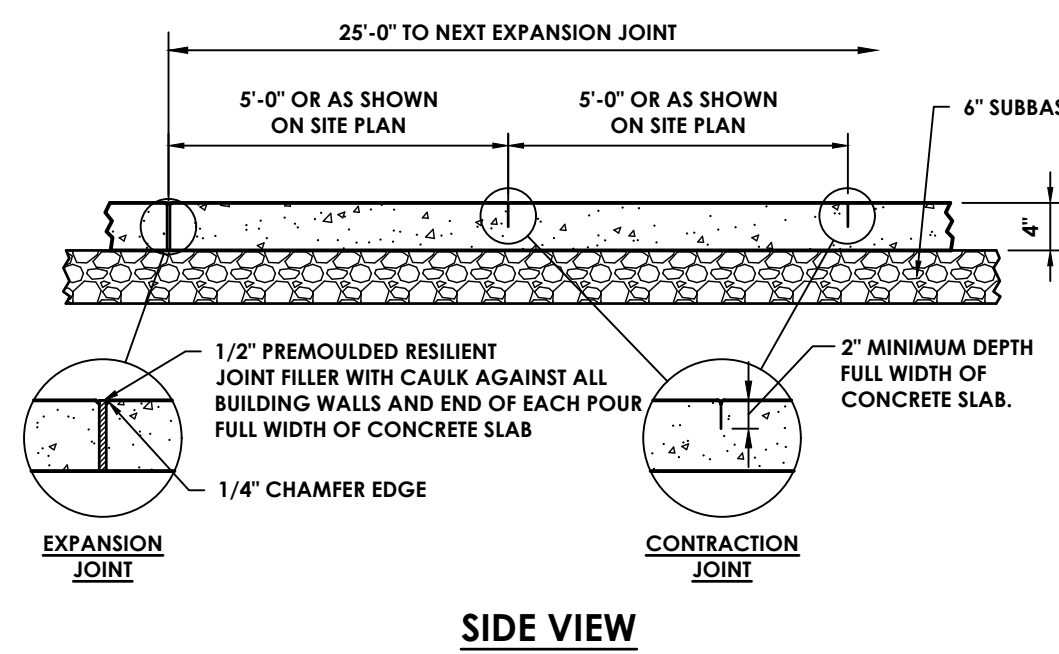
CROSSWALK STRIPING
 N.T.S.



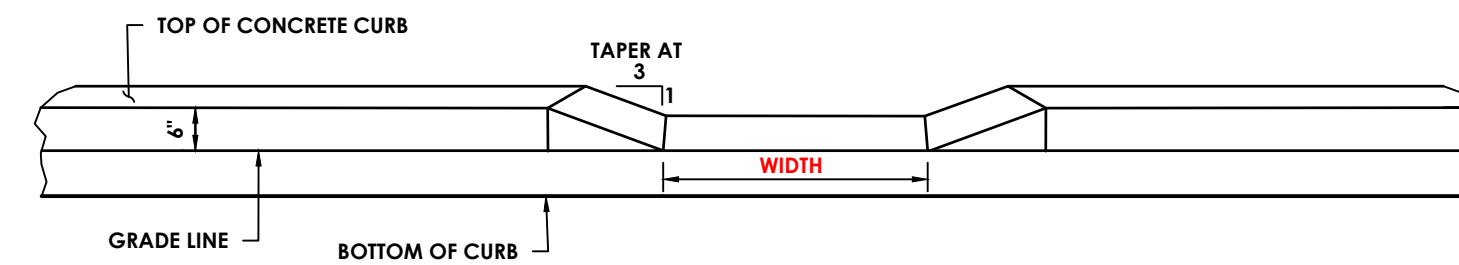
TYPICAL ROAD SECTION - FULL DEPTH
 N.T.S.



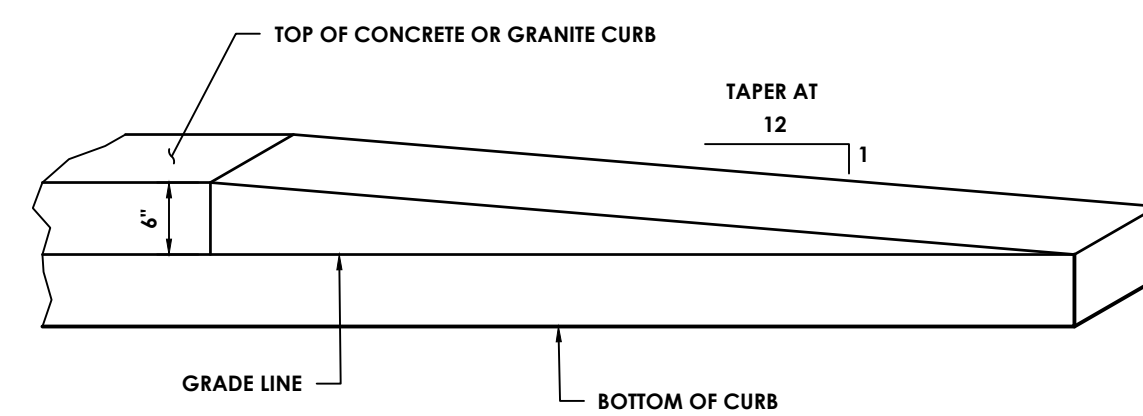
TYPICAL CONCRETE SIDEWALK
 N.T.S.



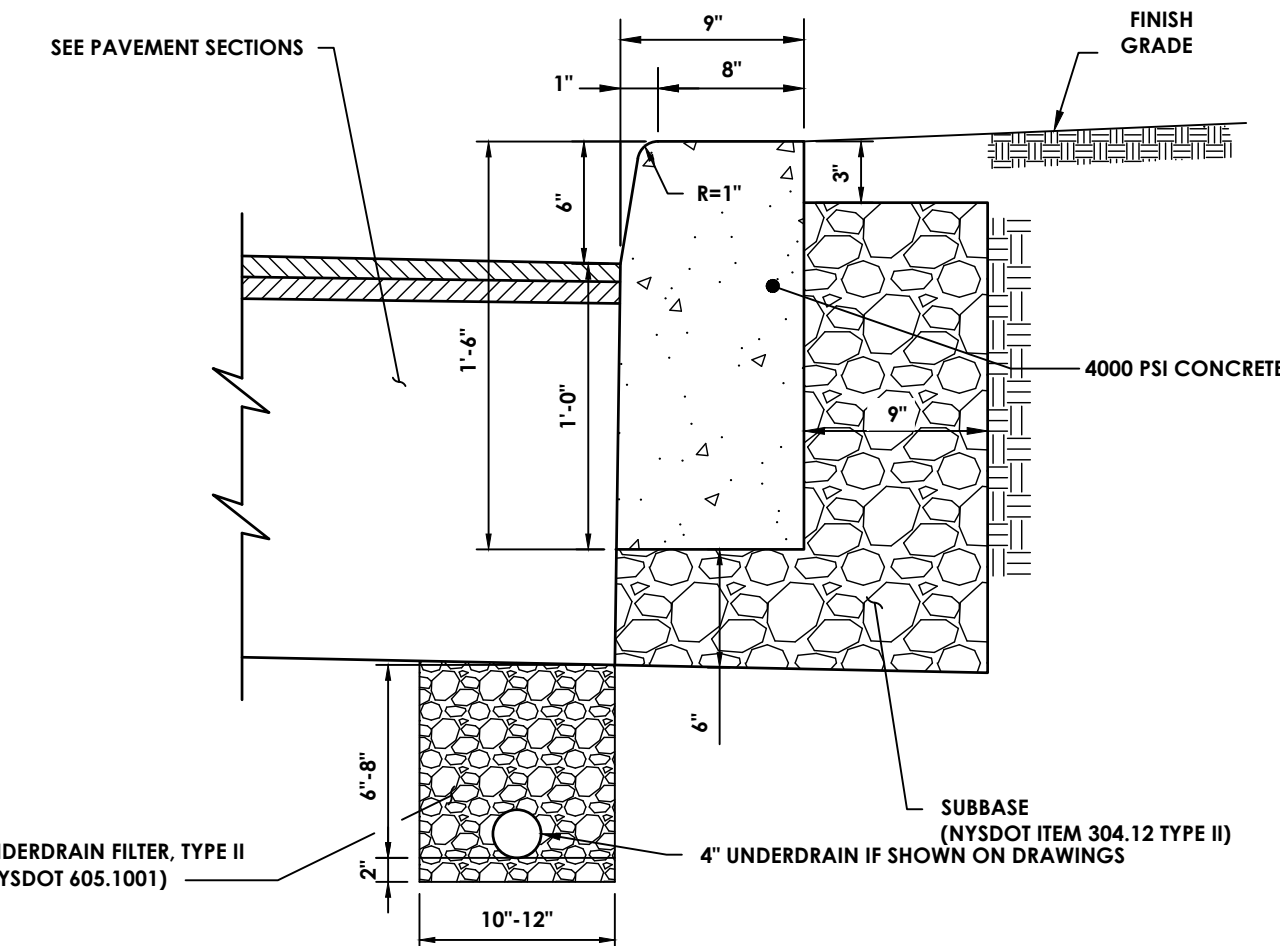
TYPICAL CONCRETE SIDEWALK
 N.T.S.



CURB BREAK
 N.T.S.

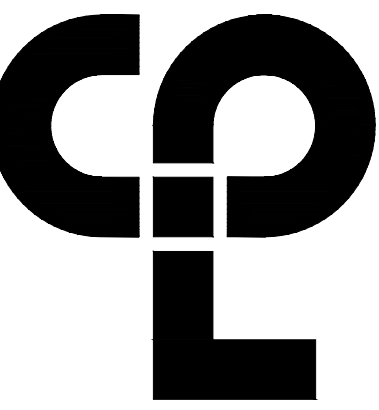


CURB TRANSITION / TERMINAL
 N.T.S.



- CONTRACTION JOINTS TO BE AT 10 FOOT INTERVALS AND SHALL BE FORMED OR SAW CUT TO A DEPTH OF 1/2 INCH BELOW THE SURFACE OF THE CURB.
- EXPANSION JOINTS TO BE AT 50 FOOT INTERVALS AND SHALL BE FORMED WITH 3/4 INCH WIDE PREMOLDED BITUMINOUS JOINT FILLER. THE FILLER MATERIAL SHALL BE CUT TO CONFORM TO THE CROSS SECTION OF THE CURB.
- EXPANSION JOINTS AND FORMED CONTRACTION JOINTS ARE TO BE EDGED WITH CONCRETE FINISHING TOOLS.
- CONCRETE SEALING AGENT SHALL BE APPLIED THE SAME DAY THAT CURBS ARE CONSTRUCTED.

CONCRETE CURB
 N.T.S.



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**KEARNEY
 REALTY &
 DEVELOPMENT**
**570 HART AT
 RHINEBECK**

Project Address
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 SED Number
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REVISION SCHEDULE

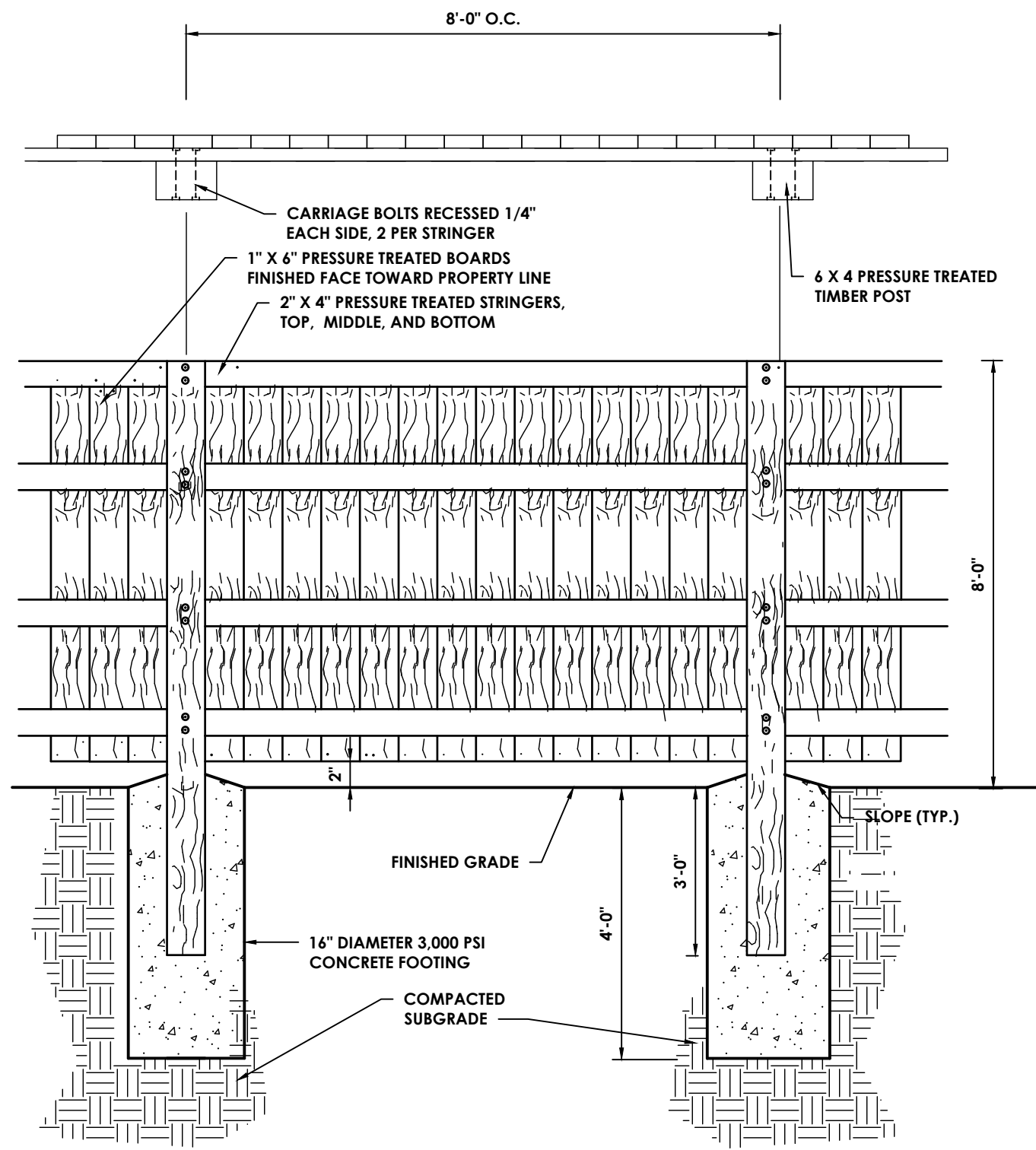
No. Date Description

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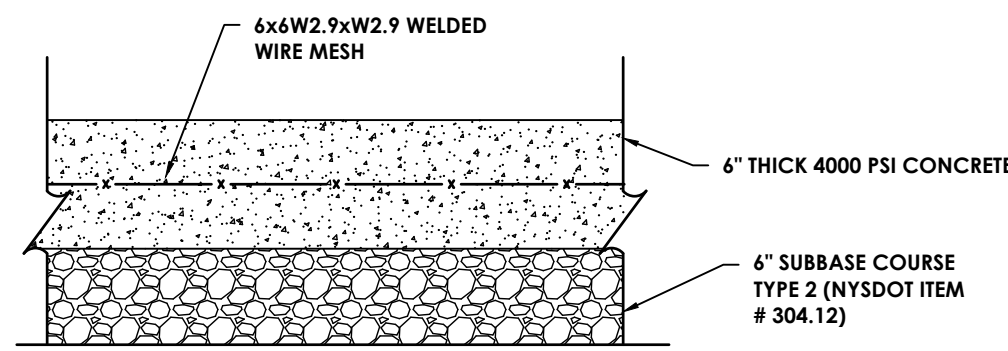
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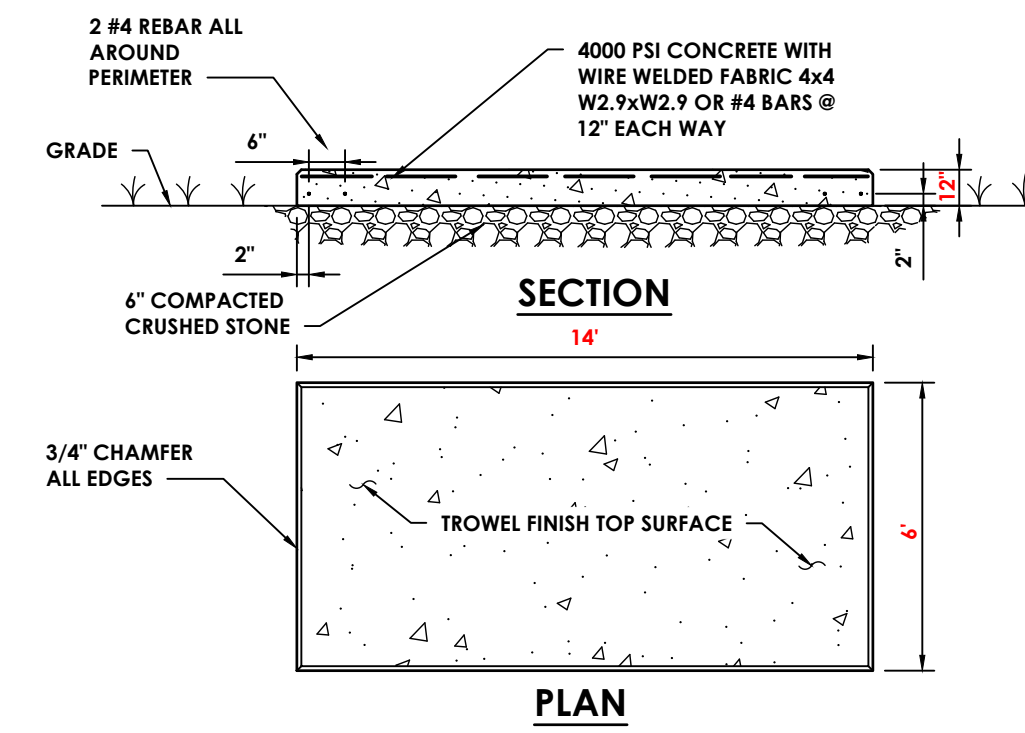
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 Drawn By KRS Checked By ALL
 Drawing Title
 SITE DETAILS - 2



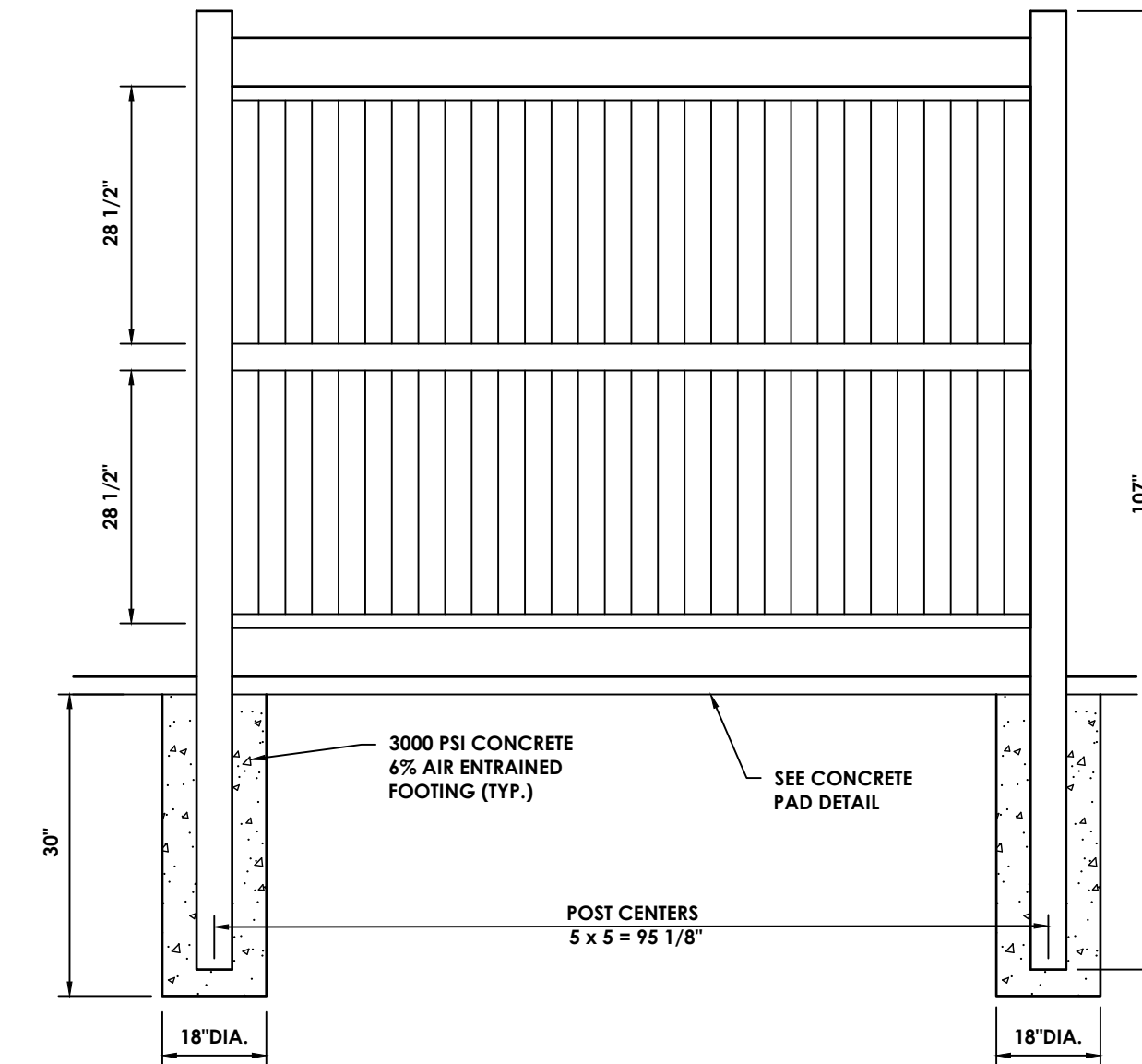
WOOD FENCE
 N.T.S.



6" REINFORCED CONCRETE PAD
 N.T.S.

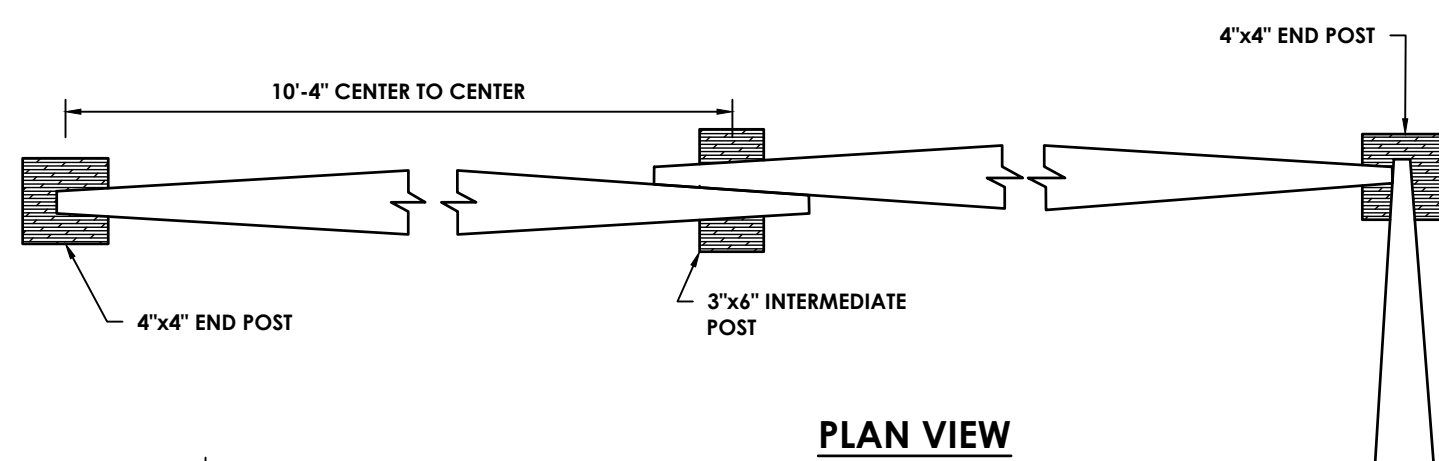


GENERATOR PAD
 N.T.S.

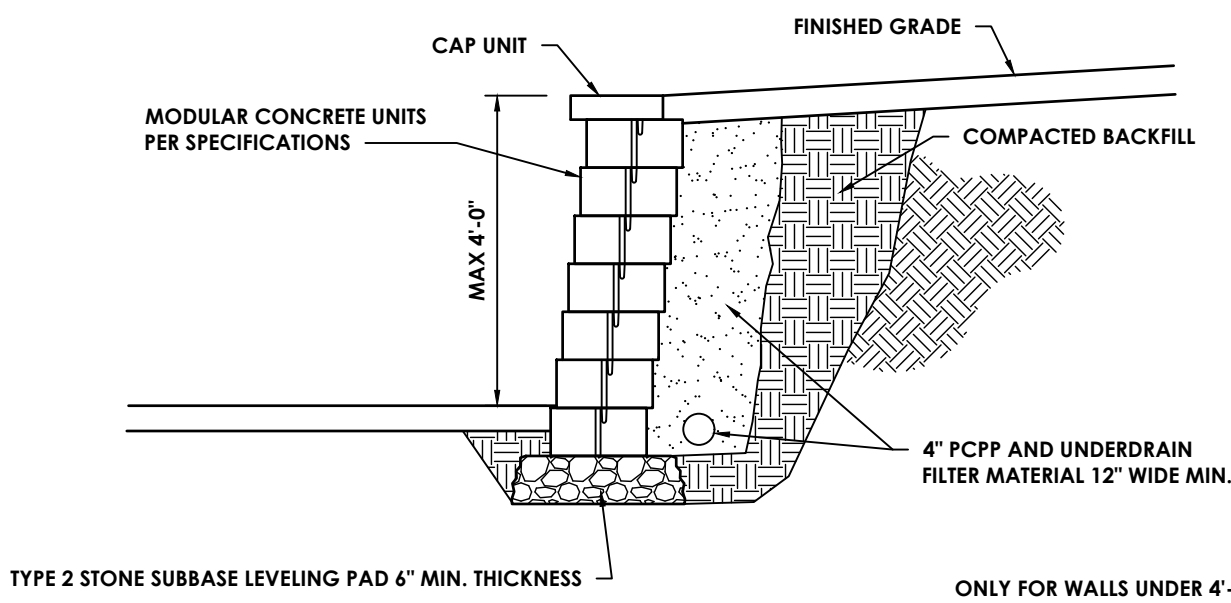


- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. 6' PRIVACY FENCE SHALL BE MANUFACTURED BY XXXXX OR APPROVED EQUAL.

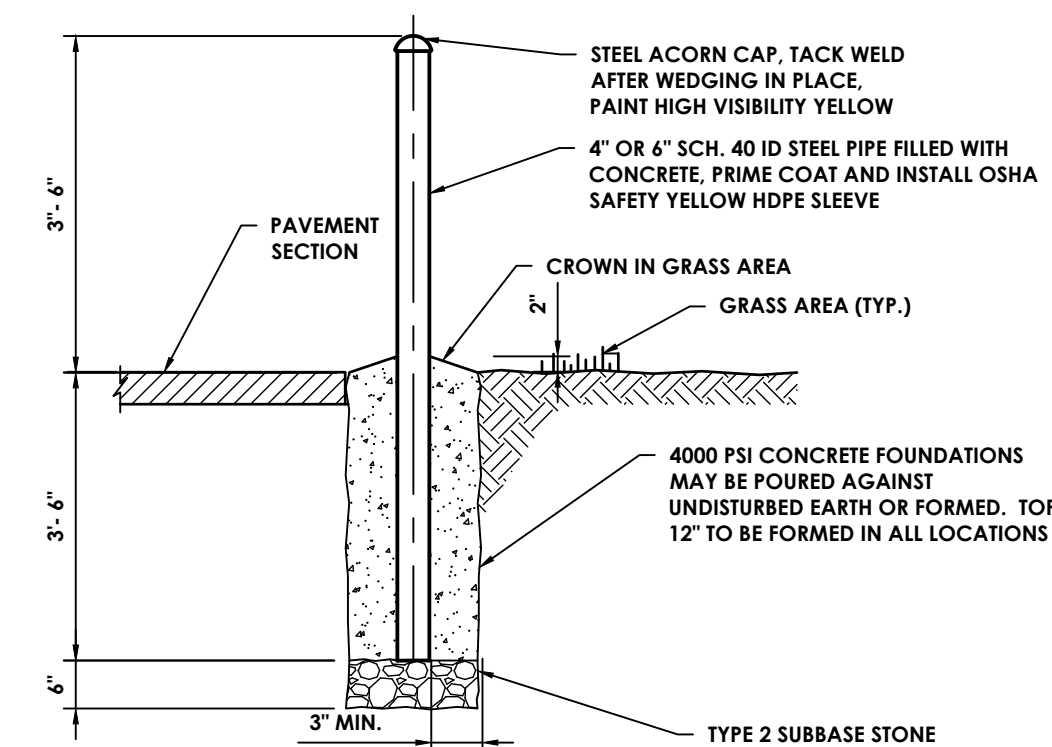
6' HIGH VINYL PRIVACY FENCE
 N.T.S.



SPLIT RAIL FENCE
 N.T.S.



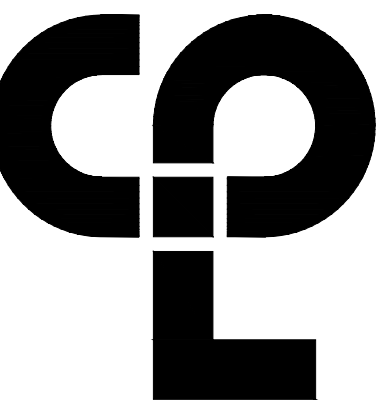
MODULAR BLOCK WALL - UNREINFORCED
 N.T.S.



BOLLARD
 N.T.S.

SIGN TABLE							
SIGN	SIZE	LETTER	MUTCD #	BACKGROUND	LEGEND	DOT MOUNT NUM.	QUANTITY
1	ALL TRAFFIC	18" X 24"	SEE MUTCD	R3-14	WHITE (RETROREFLECTIVE)	BLACK (RETROREFLECTIVE)	
2	STOP	30" X 30"	SEE MUTCD	R1-1	RED (RETROREFLECTIVE)	WHITE (RETROREFLECTIVE)	
3	BUSES ONLY	18" X 24"	SEE MUTCD	N/A	WHITE (RETROREFLECTIVE)	BLACK (RETROREFLECTIVE)	
4	DO NOT ENTER	30" X 30"	SEE MUTCD	RS-1	WHITE (RETROREFLECTIVE)	WHITE (RETROREFLECTIVE)	
5	ONEWAY	36" X 12"	SEE MUTCD	R6-1	WHITE (RETROREFLECTIVE)	BLACK (RETROREFLECTIVE)	
6	NO PARKING	18" X 24"	SEE MUTCD	R8-3	WHITE (RETROREFLECTIVE)	RED (RETROREFLECTIVE)	
7	NO PARKING ANY TIME	18" X 24"	SEE MUTCD	R7-1	WHITE (RETROREFLECTIVE)	RED (RETROREFLECTIVE)	
8	FIRE LANE	18" X 24"	SEE NYS FIRE CODE APPENDIX D		WHITE (RETROREFLECTIVE)	RED (RETROREFLECTIVE)	
9	ACCESSIBLE PARKING	18" X 24"	SEE MUTCD	R7-8	WHITE (RETROREFLECTIVE)	BLUE (RETROREFLECTIVE)	
10	ACCESSIBLE PARKING	12" X 18"	SEE MUTCD	R7-8	WHITE (RETROREFLECTIVE)	GREEN, BLUE (RETROREFLECTIVE)	
11	ACCESSIBLE PARKING	12" X 18"	SEE MUTCD	R7-8	WHITE (RETROREFLECTIVE)	GREEN, BLUE (RETROREFLECTIVE)	

ROAD SIGN TABLE
 N.T.S.



CPLE | Architecture Engineering Planning
 26 IBM ROAD
 Poughkeepsie, NY 12601
 CPLEam.com

GENERAL:

1. THE DIMENSIONS AND SLOPE PRESENTED IN THE DETAILS ARE THE MINIMUM NECESSARY TO COMPLY WITH THE ADA AND DOT STANDARDS. ANY DEVIATION LESS THAN THE MINIMUM WIDTH OR GREATER THAN THE MAXIMUM SLOPE FROM THESE STANDARDS MUST BE DOCUMENTED WITH THE STANDARDS BEING MET TO THE GREATEST EXTENT PRACTICABLE AND CONSISTENT WITH THE MOST CURRENT ADAAG.
2. THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUALITY OF DOMES DEPICTED ON THE DETECTABLE WARNING UNIT (THE DOMES AND THE ENTIRE 24" LEVEL SURFACE) IS FOR ILLUSTRATION ONLY.
3. CURB RAMPS, LANDINGS AND BLENDED TRANSITIONS MAY REQUIRE THE USE OF DETECTABLE WARNINGS. DETECTABLE WARNINGS ON THIS SHEET ARE SHOWN FOR ILLUSTRATION ONLY. REFER TO THE DETECTABLE WARNING DETAILS FOR DETAILS ON PLACEMENT, ORIENTATION & DIMENSIONS. REFER TO CHAPTER 18 OF THE HIGHWAY DESIGN MANUAL FOR MORE INFORMATION.
4. THE CONFIGURATIONS SHOWN GENERICALLY REPRESENT THE MOST COMMON SITUATIONS ENCOUNTERED. THEY ARE INTENDED TO PRESENT CURB RAMP DESIGN CONCEPTS. SITE CONDITIONS AT INDIVIDUAL LOCATIONS REQUIRE SPECIFIC DESIGNS.
5. COORDINATE TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD.
6. USE TYPE 8 ONLY WHERE OTHER RAMPS ARE UNUSABLE. SINGLE DIAGONAL OR DEPRESSED CORNER CURB RAMPS SERVING TWO STREET CROSSING DIRECTIONS SHOULD BE AVOIDED IN NEW CONSTRUCTION AND SHOULD ONLY BE CONSIDERED WHERE CONDITIONS REQUIRE THEIR USE. SEE NYSDOT STANDARD SHEETS 608-01 FOR RAMP TYPES.
7. GRATES SHALL NOT BE LOCATED ON CURB RAMPS, BLENDED TRANSITIONS OR LANDINGS. ACCESS TO COVERS OF SIMILAR SURFACES SHALL COMPLY WITH APPLICABLE SURFACE REQUIREMENTS.
8. UTILITIES, SIGNS AND OTHER FIXED OBJECTS MAY NOT BE PLACED ON A CURB, OR IN A MANNER THAT INTERFERES WITH THE USE OF THE CURB RAMP.
9. THE SURFACE OF ALL CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING FIELDS.
10. THERE SHALL BE A LANDING AT THE TOP OF EACH PERPENDICULAR CURB RAMP AND A LANDING AT THE BOTTOM OF RAMPS TYPE 6 & 9. SEE NYSDOT STANDARD SHEETS 608-01 FOR RAMP TYPES.
11. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR A SINGLE LANDING MAY SERVE MULTIPLE CURB RAMPS.
12. LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.

CURB RAMP NOTES:

13. THE MINIMUM WIDTH FOR SIDEWALK CURB RAMPS IS 5'-0".
14. THE RUNNING SLOPE OF A CURB RAMP SHALL BE 1:20 (5%) MINIMUM (PREFERRED) AND 1:12 (8.33%) MAXIMUM.
15. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 8.33% THE CURB RAMP LENGTH IS THE LENGTH NECESSARY TO MEET THE EXISTING SIDEWALK. IT IS NOT NECESSARY THAT THE RAMP LENGTH EXCEED 15'-0".
16. THE CROSS SLOPE OF CURB RAMPS SHOULD BE AS FLAT AS POSSIBLE, NOT TO EXCEED 1:50 (2%). THE CROSS SLOPE AT MIDLBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.
17. THE VERTICAL ALIGNMENT OF A CURB RAMP, EXCLUDING THE FLARES, SHALL BE PLANAR. GRADE BREAKS SHALL BE FLUSH AND PERPENDICULAR TO THE DIRECTION OF THE RAMP.
18. RAMP TRANSITIONS BETWEEN WALKS, LANDINGS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/2" MAX).
19. WHERE A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED PARALLEL TO THE CURB LINE, SHALL BE PROVIDED.

SIDEWALK NOTES
 N.T.S.

LANDING NOTES:

20. LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 5'-0" BY 5'-0"
21. THE RUNNING AND CROSS SLOPES ON LANDINGS AT INTERSECTIONS IS 1:50 (2%) MAXIMUM. THE RUNNING AND CROSS SLOPES AT MIDLBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.

DETECTABLE WARNING UNIT DIMENSIONS:

22. THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE, EXCLUSIVE OF SIDE FLARES.

DETECTABLE WARNINGS LOCATIONS:

23. DETECTABLE WARNINGS SHALL BE LOCATED SO THAT THE EDGE OR CORNER OF THE WARNING FIELD NEAREST TO THE ROADWAY IS 5" TO 9" FROM THE FRONT OF THE CURB OR THE ROADWAY EDGE (12" WHERE TRAVERSABLE CURB IS USED).
24. THE EDGE OF THE DETECTABLE WARNING FIELD NEAREST TO A RAILROAD CROSSING SHALL BE 6'-0" MINIMUM AND 15'-0" MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL.

DOMES ALIGNMENT:

25. THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE GRADE BREAK BETWEEN THE RAMP LANDING OR CURB RAMP AND THE STREET.
26. WHERE DOMES ARE ARRAYED RADIALY THEY MAY DIFFER IN DOME DIAMETER AND CENTER-TO-CENTER SPACING WITHIN THE RANGES SPECIFIED ON THIS SHEET.

COLOR REQUIREMENTS:

27. THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS.

PROJECT INFORMATION

Project Number
15925.00
 Client Name
KEARNEY
REALTY &
DEVELOPMENT
CHRYSLER AT
RHINEBECK

Project Address
ASTOR DR
RHINEBECK, NY 12572
 SED Number
N/A

REVISION SCHEDULE

No. Date Description

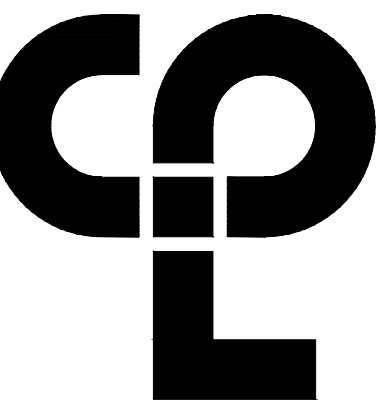
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SHEET INFORMATION

Issued 3/9/2022 Scale AS NOTED
 Project Status DESIGN
 Drawn By KRS Checked By ALL
 Drawing Title SITE DETAILS - 3

Drawing Number HAR
 Revision Number C502



PROJECT INFORMATION

Project Number
15925.00
Client Name
KEARNEY REALTY &
DEVELOPMENT GROUP, INC
Project Name
THE HAMLET AT
RHINEBECK

Project Address
ASTOR DR
RHINEBECK, NY 12572

SD Number
N/A

REVISION SCHEDULE

No. Date Description

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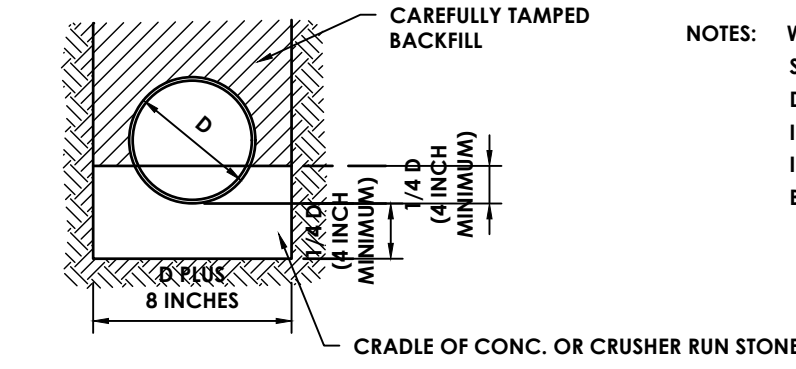
SHEET INFORMATION

Issued
3/9/2022
Scale
AS NOTED
Project Status
DESIGN
Drawn By
KRS
Checked By
ALL
Drawing Title
WATER DETAILS - 1

Drawing Number
Revision Number

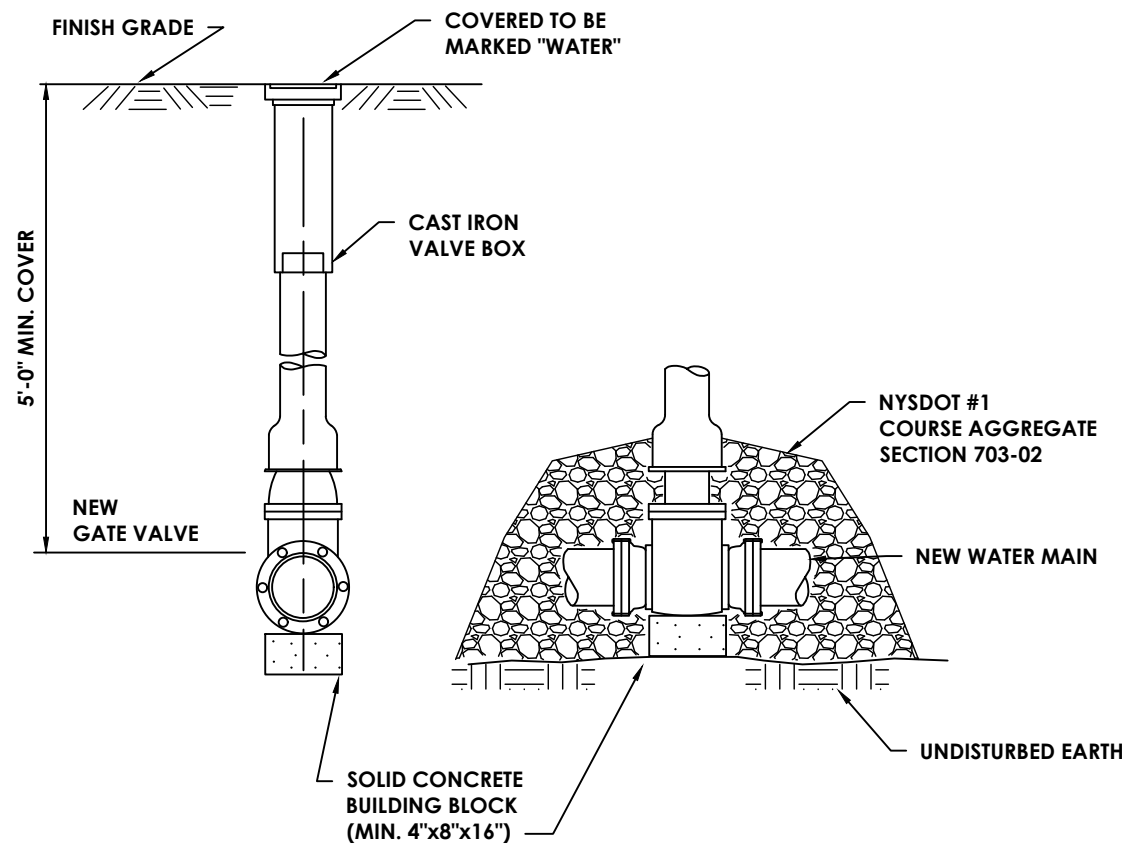
HAR
C510

WATER LINE-SEWER LINE CROSSING PROVISIONS		
SITUATION	SCHEMATIC	REQUIREMENTS
I WATER LINE ABOVE SEWER LINE		
II WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE SHALL BE ONE FULL LENGTH CENTERED AT CROSSING, WHEN POSSIBLE. B) WHEN BOTH WATER LINE AND SEWER LINE ARE NEW, SLEEVE SEWER LINE WITH STEEL CASING FOR FULL LENGTH OF PIPE AT CROSSING. --OR-- CONCRETE ENCASEMENT AS ORDERED BY ENGINEER OR REGULATORY AGENCY
III SEWER LINE ABOVE WATER LINE		A) WATER LINE AND SEWER LINE SHALL BE ONE FULL LENGTH CENTERED AT CROSSING, WHEN POSSIBLE. B) CONCRETE ENCASEMENT AS ORDERED BY ENGINEER OR REGULATORY AGENCY C) PROVIDE CRADLE OF CONCRETE OR CRUSHER RUN STONE (SEE SANITARY SEWER/WATER MAIN CROSSING DETAIL THIS SHEET) FOR WATER LINE AND SEWER LINE FOR ENTIRE LENGTH OF PIPE EACH SIDE OF CROSSING.



NOTES: WL (WATER LINE)
SL (SEWER LINE, SANITARY OR STORM)
D (OUTSIDE DIAMETER OF PIPE)
IN NO CASE SHALL PIPE BE CLOSER THAN 12 INCHES APART. DISTANCES ARE MEASURED BETWEEN OUTSIDES OF PIPE.

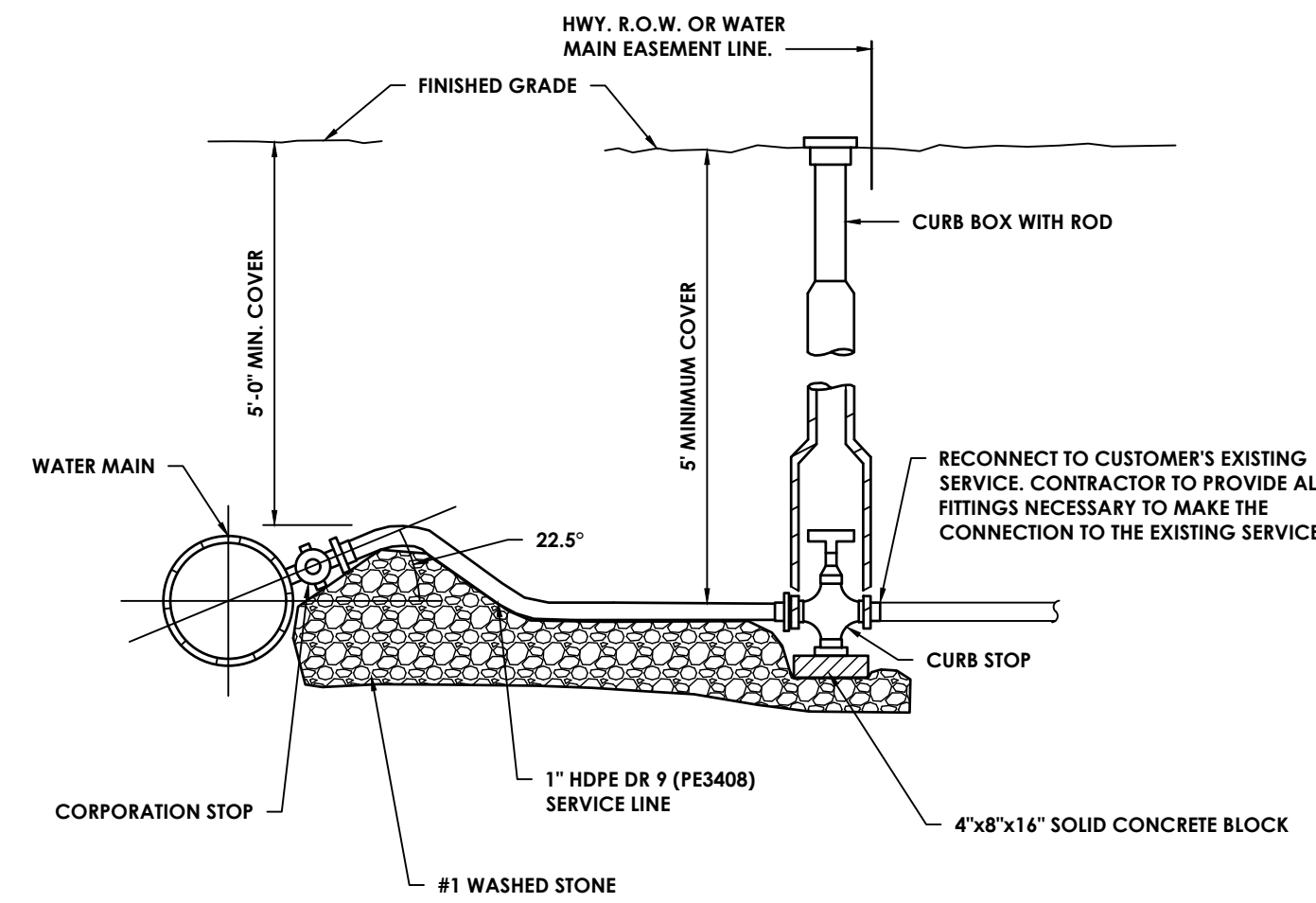
SANITARY SEWER/WATER MAIN CROSSING
N.T.S.



NOTES:

1. VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED FILL.
2. VALVE SHALL NOT SUPPORT VALVE BOX.
3. ALL BODY AND BONNET BOLTS SHALL BE STAINLESS STEEL.
4. ALL VALVES SHALL BE OPEN LEFT.
5. FOR HDPE PIPE INSTALLATIONS SEE DETAIL "PIPE TRANSITION DETAIL WITH MECHANICAL JOINT ADAPTOR CONNECTION".
6. POLY WRAP PIPES.

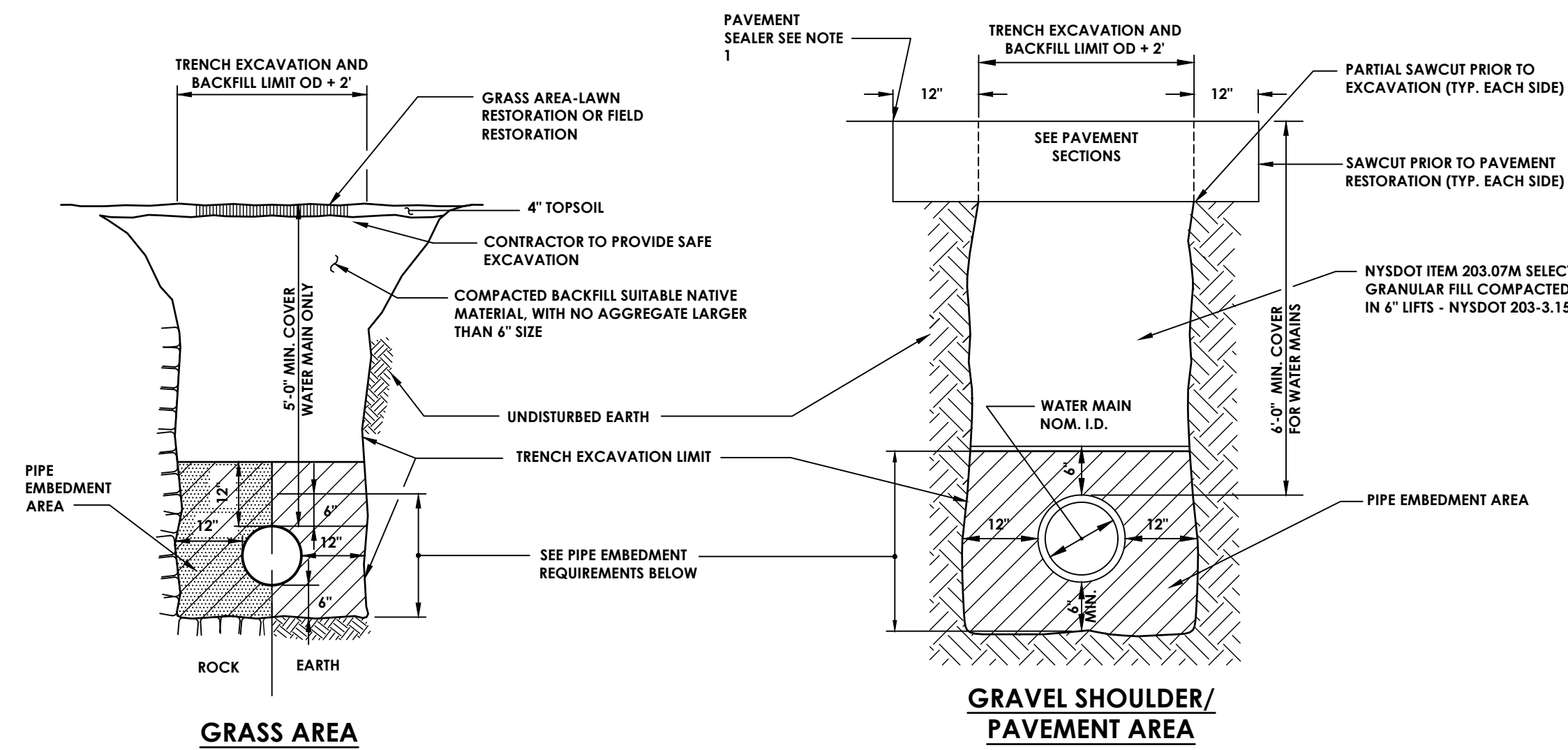
WATER MAIN GATE VALVE
N.T.S.



NOTES:

1. FOR SERVICES 1 1/2" AND LARGER, USE BRASS 22 1/2" BEND WITH COMPRESSION COUPLING TO SERVICE LINE.
2. NO CURB BOXES SHALL BE LOCATED IN DITCHES OR DRAINAGE SWALES.
3. ALL SERVICE TAPS LARGER THAN 1" ON DUCTILE IRON PIPE WATER MAINS SHALL UTILIZE SERVICE SADDLES. ALL SERVICE TAPS ON PVC OR HDPE WATER MAINS SHALL UTILIZE SERVICE SADDLES, REGARDLESS OF SIZE.
4. STAINLESS STEEL INSERTS SHALL BE USED AT ALL HDPE CONNECTIONS.
5. FOR INSTALLATIONS ON 2-INCH TO 4-INCH HDPE WATER MAIN, INSTALL ELECTROFUSION TRANSITION SADDLES WITH BRASS OUTLET AND 1" CC THREADS. INSTALL WITH CLAMP PER MANUFACTURER RECOMMENDATIONS.

TYPICAL WATER SERVICE
N.T.S.



PIPE EMBEDMENT REQUIREMENTS

WATER MAIN
DUCTILE IRON PIPE
PVC PIPE

SANITARY SEWER
PVC PIPE

STORM SEWER
ALL PIPE MATERIALS

PAVEMENT & SHOULDER AREAS

NYSDOT ITEM 203.07M SELECT GRANULAR FILL
NYSDOT #1A SCREENED GRAVEL OR CONCRETE SAND
NYSDOT SPECIFICATION SECTION 703-07

NYSDOT #1A SCREENED GRAVEL OR CONCRETE SAND
NYSDOT SPECIFICATION SECTION 703-07

NYSDOT #2 COARSE AGGREGATE

LAWN & FIELD AREAS

COMPACTED NATIVE MATERIAL NO AGGREGATE LARGER THAN 3"
NYSDOT #1A SCREENED GRAVEL OR CONCRETE SAND
NYSDOT SPECIFICATION SECTION 703-07

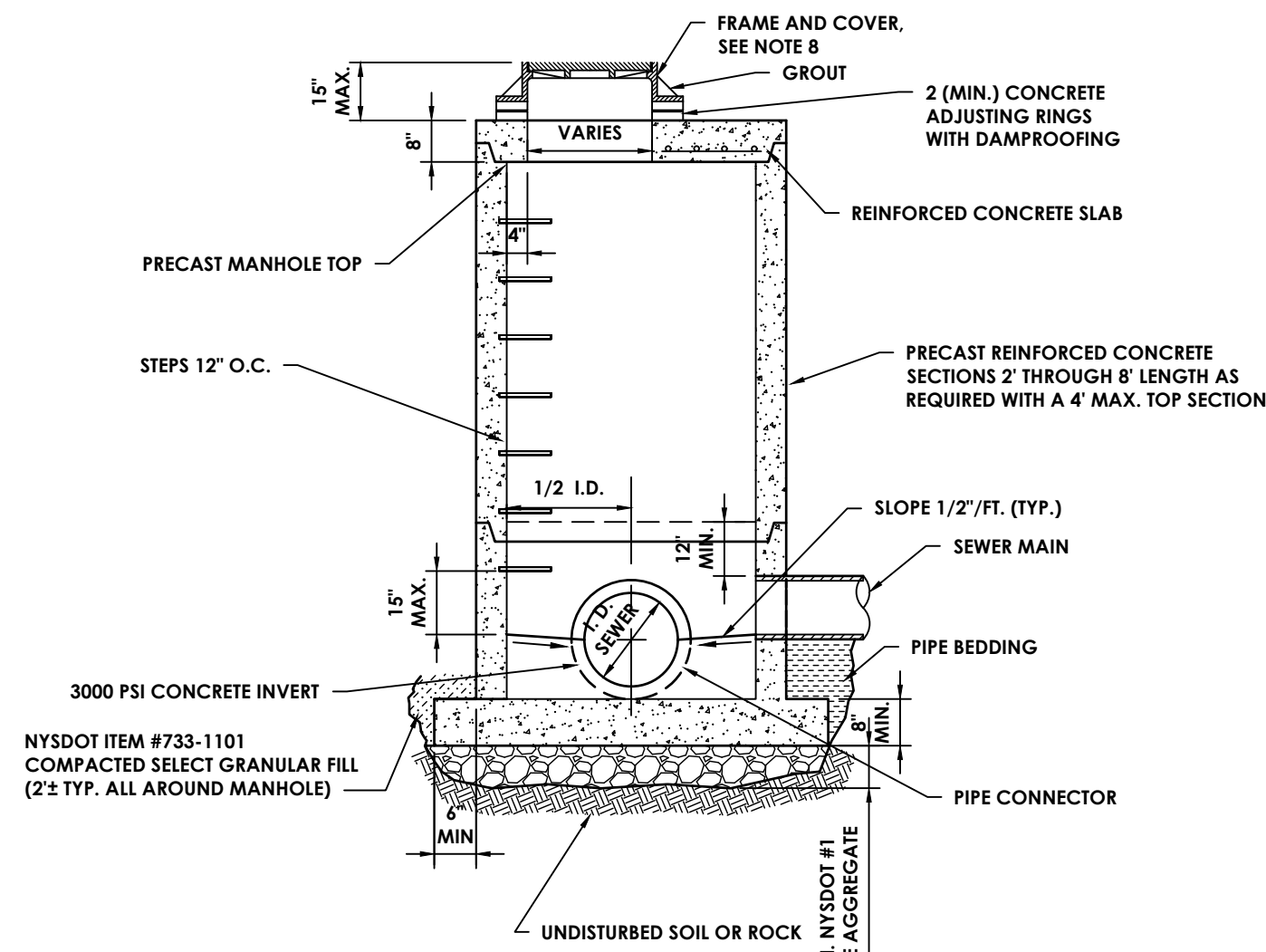
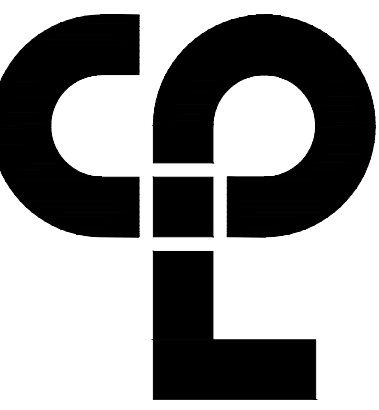
NYSDOT #1A SCREENED GRAVEL OR CONCRETE SAND
NYSDOT SPECIFICATION SECTION 703-07

NYSDOT #2 COARSE AGGREGATE

* IN ROCK AREAS USE NYSDOT ITEM 203.07M SELECT GRANULAR FILL

** WATER MAIN PLACED 5 FEET OR LESS FROM CENTERLINE OF WATER MAIN TO EDGE OF ASPHALT PAVEMENT (EITHER ROAD OR SHOULDER) SHALL MEET THE BACKFILL REQUIREMENTS OF GRAVEL SHOULDER/PAVEMENT AREA REPLACEMENT DETAILS.

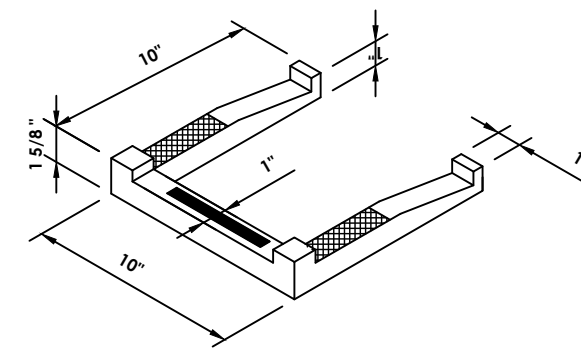
PIPE TRENCH DETAIL
N.T.S.



NOTES:

1. STEPS 4" MAX. R.C.P., 1" MAX. ALL OTHER PIPE MATERIALS FROM OUTSIDE FACE.
2. USE TWO COATS OF SIKAGUARD NO. 68 BY SIKKA OR DURALCOTE BY DURAL OR APPROVED EQUIVALENT FOR INTERIOR COATING OF BASE TO TOP OF HIGHEST PIPE. USE TWO COATS OF KOPFERS SUPER SERVICE BLACK OR APPROVED EQUIVALENT ON OTHER INTERIOR AND ALL EXTERIOR SURFACES.
3. ALL RISER JOINTS SHALL BE RUBBER RING GASKETS CONFORMING TO A.S.T.M. C443 WITH FLEXIBLE JOINT SEALER ON OUTSIDE OF JOINTS.
4. PIPE CONNECTIONS TO MANHOLE BASE SHALL BE BELL WALL FITTINGS FOR R.C.P. WITH STEEL RING JOINTS. FOR ALL OTHER PIPES USE PRESS-SEAL CAST-A-SEAL 12-08 CAST IN BOOT OR PSX DIRECT DRIVE CONNECTOR. CONNECTION SHALL BE GROUTED AND ALL SURFACES COATED.
5. PRECAST BASES, RISER SECTIONS AND TOP SLABS SHALL CONFORM WITH A.S.T.M. C478.
6. CORED OPENINGS IN MANHOLE RISER SECTIONS SHALL NOT BE LESS THAN 6" FROM A RISER JOINT.
7. MANHOLE TOP SLABS, FRAMES AND COVERS SHALL BE DESIGNED FOR USE UNDER H-20 LOADING.
8. REQUIRE 24" I.D. FRAME AND COVER, NEENAH R-1713, OR APPROVED EQUAL.
9. ALL WORK FOR PRECAST SANITARY MANHOLES SHALL BE PAID FOR UNDER SANITARY PRECAST MANHOLE ITEMS. WORK INCLUDES EXCAVATION AND BACKFILL.

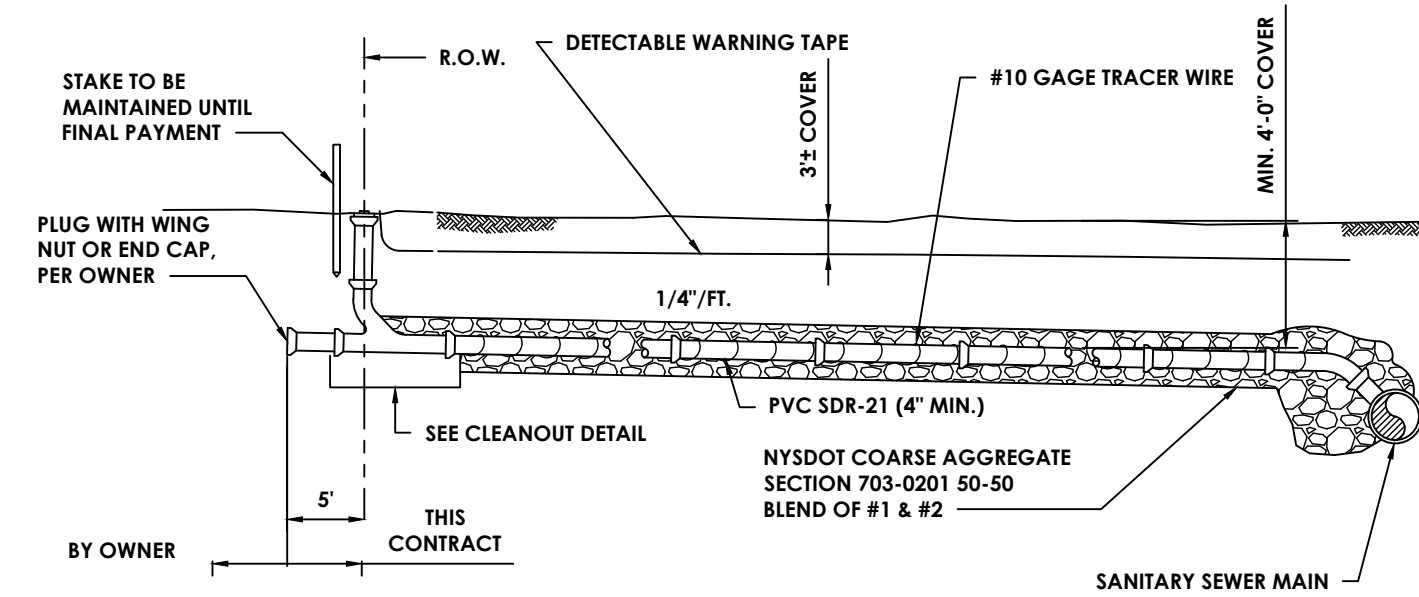
PRECAST SANITARY MANHOLE
N.T.S.



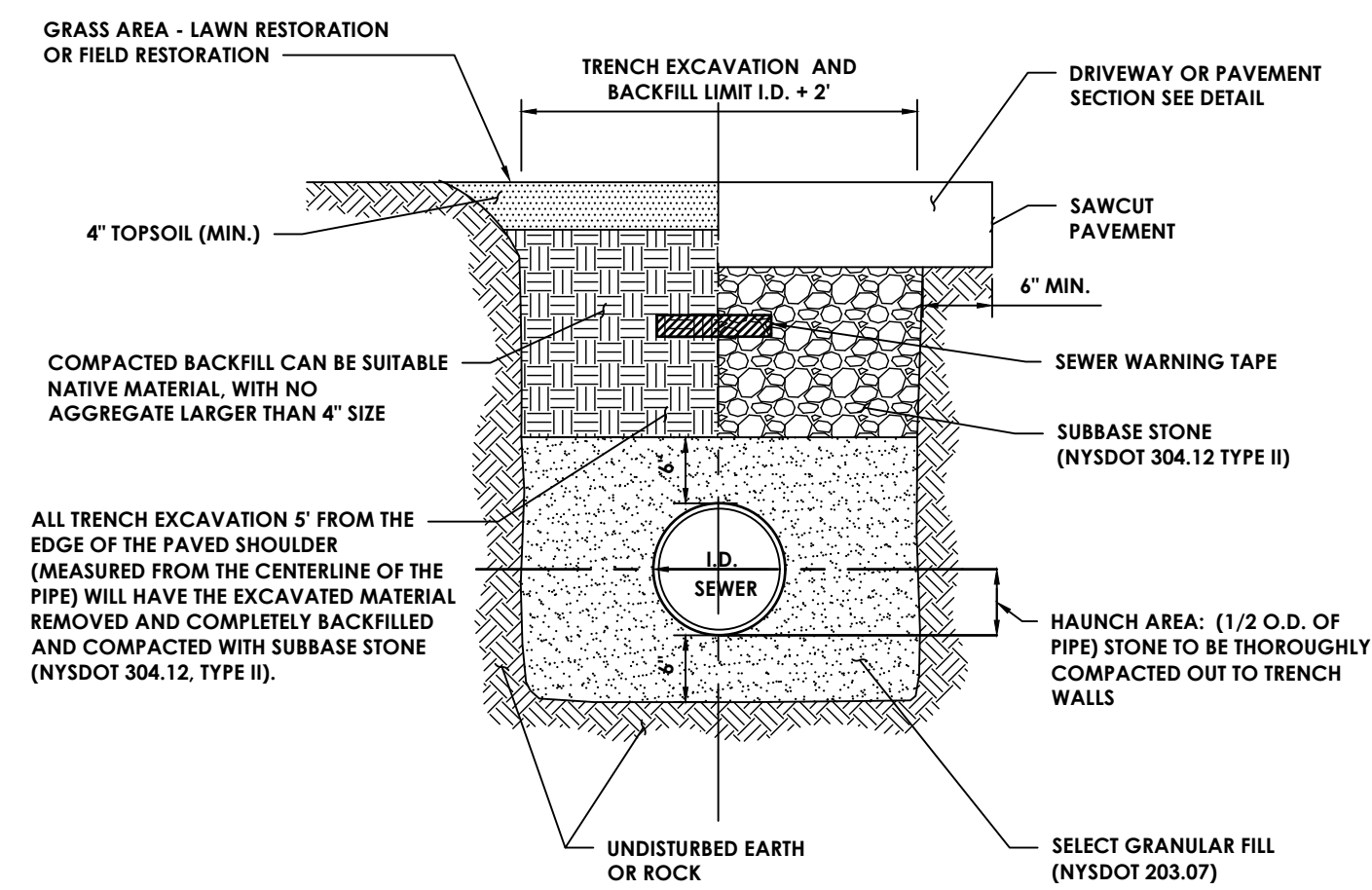
NOTES:

1. STEPS FOR DRAINAGE STRUCTURES SHALL CONFORM TO N.Y.S.D.O.T. MATERIAL SPECIFICATION 725-02.01. THE COST OF THE STEPS SHALL BE INCLUDED IN THE PRICE BID FOR THE MANHOLES.
2. STEPS TO BE PLACED IN STRUCTURES GREATER THAN 4 FEET IN DEPTH.

MANHOLE STEP
N.T.S.



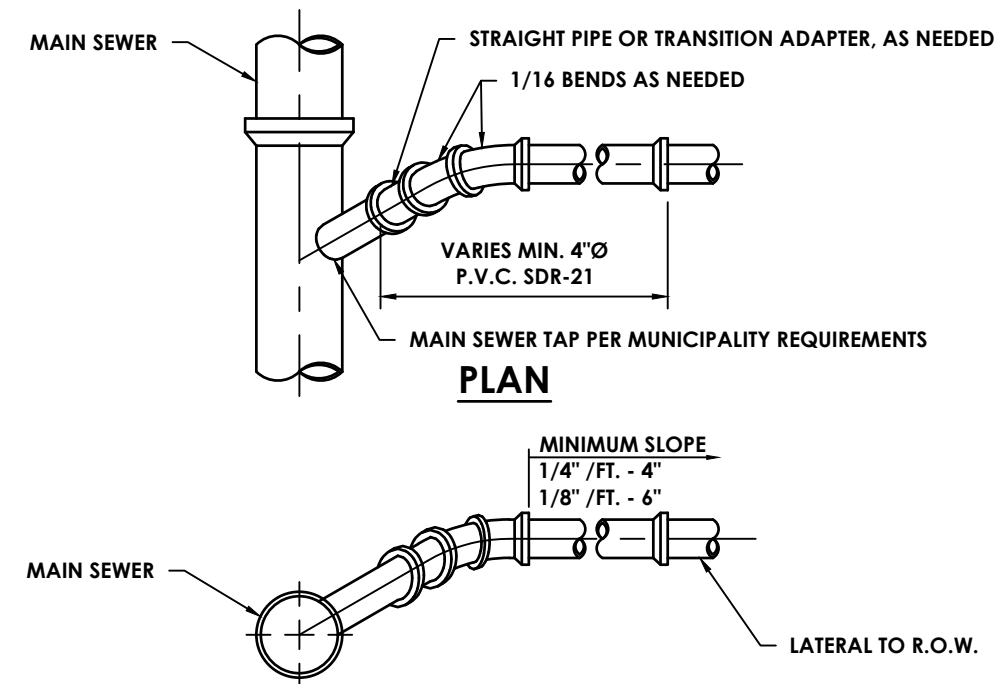
TYPICAL SANITARY SEWER LATERAL
N.T.S.



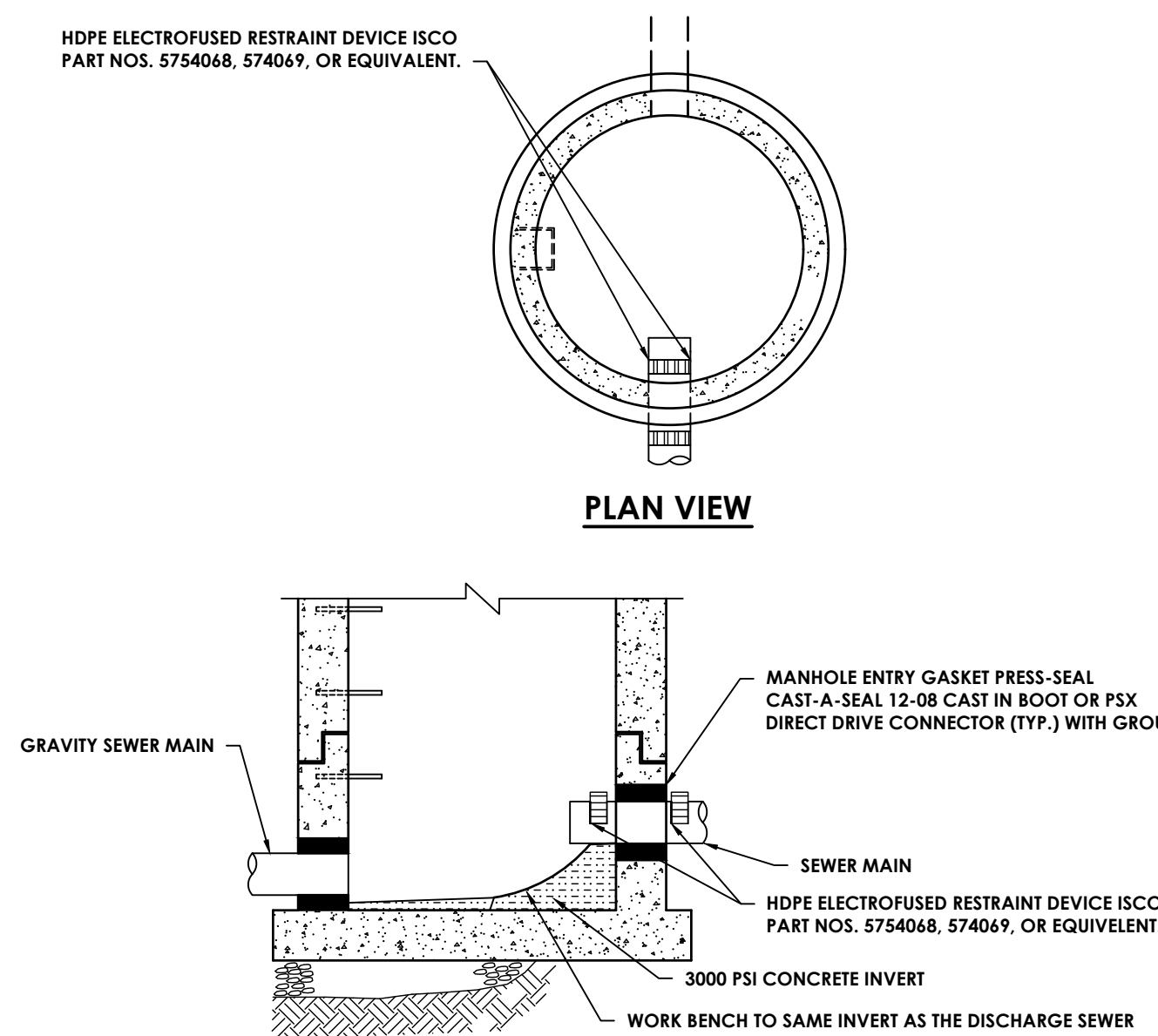
NOTES:

1. CONTRACTOR TO PROVIDE SAFE EXCAVATION: SLOPE TRENCH WALLS. USE TRENCH BOX, OR SHEETING & BRACING PER OSHA SPECIFICATIONS. TRENCH BOX OR SHEETING AND BRACING TO BE LIFTED ABOVE THE SPRING LINE OF PIPE BEFORE BACKFILLING ABOVE SPRING LINE.
2. PAVEMENT BACKFILL AND RESTORATION REQUIREMENTS SHALL APPLY TO WORK PERFORMED UNDER PROPOSED ROADWAYS.
3. BACKFILL OF SUITABLE MATERIAL SHALL BE COMPACTED IN 6" LIFTS.
4. ALL DISTURBED AREAS SHALL BE MULCHED OR HAVE TURF ESTABLISHMENT WITHIN 10 DAYS IF IN A GRASS AREA.

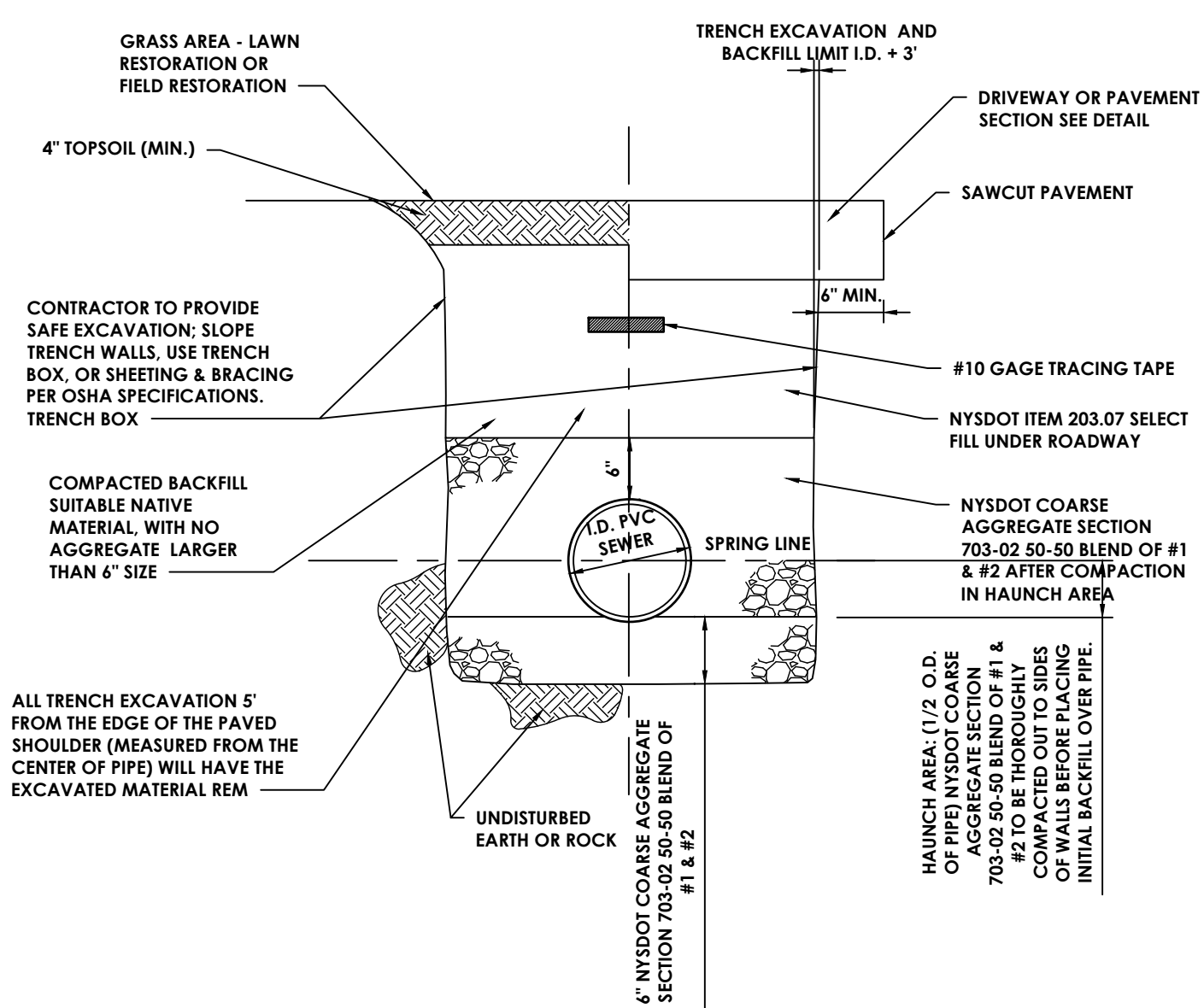
SANITARY SEWER AND LATERAL TRENCH
N.T.S.



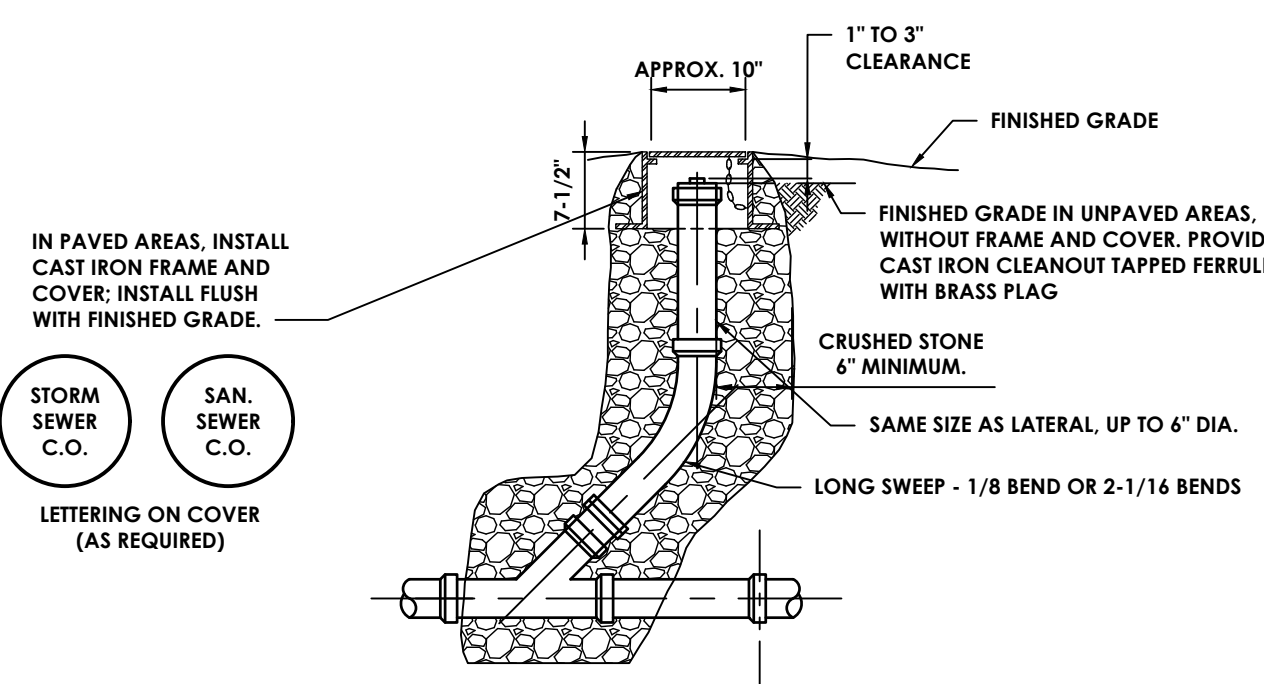
WYE BRANCH CONNECTION
N.T.S.



MANHOLE WITH FORCE MAIN CONNECTION
N.T.S.



SANITARY FORCE MAIN
N.T.S.



SEWER CLEAN-OUT
N.T.S.

PROJECT INFORMATION

Project Number
15925.00
Client Name
KEARNEY REALTY & DEVELOPMENT GROUP, INC
Project Name
THE HAMLET AT RHINEBECK

Project Address
ASTOR DR
RHINEBECK, NY 12572
S&P Number
N/A

REVISION SCHEDULE

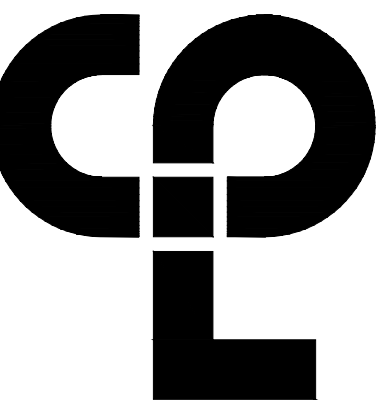
No. Date Description

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SHEET INFORMATION

Issued
3/9/2022
Scale
AS NOTED
Project Status
DESIGN
Drawn By
KRS
Checked By
ALL
Drawing Title
SEWER DETAILS - 1



PROJECT INFORMATION

Project Number
15925.00
Client Name
KEARNEY REALTY & DEVELOPMENT
GROUP, INC
Project Name
THE HAMLET AT
RHINEBECK

Project Address
ASTOR DR
RHINEBECK, NY 12572
S&P Number
N/A

REVISION SCHEDULE

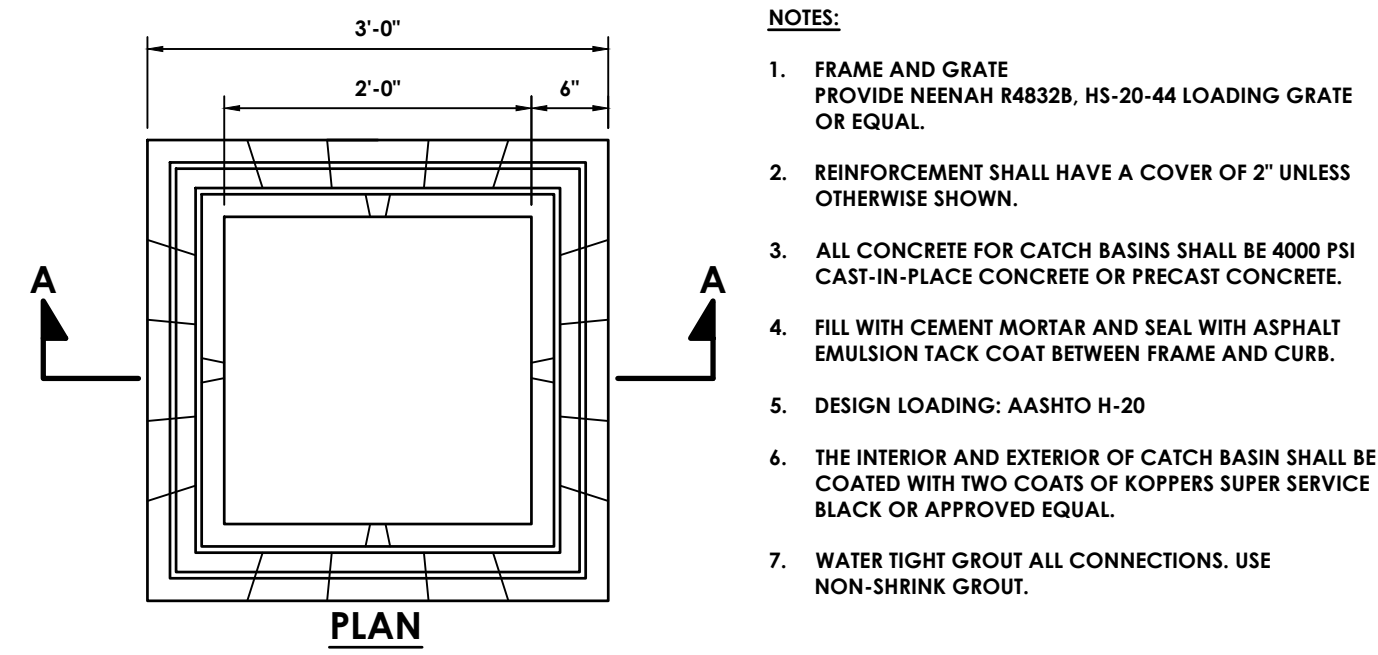
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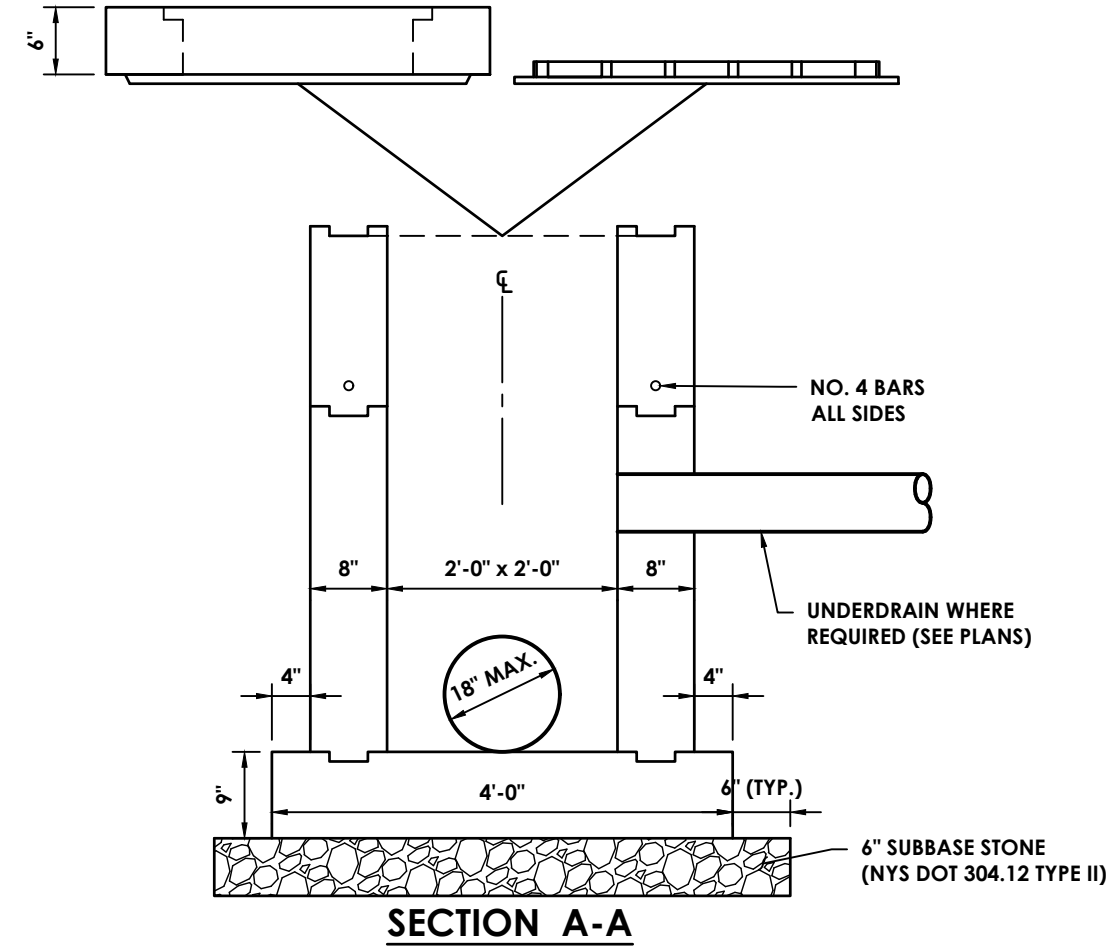
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SHEET INFORMATION

Issued	Scale
3/9/2022	AS NOTED
Project Status	DESIGN
Drawn By	Checked By
KRS	ALL
Drawing Title	STORMWATER DETAILS - 1



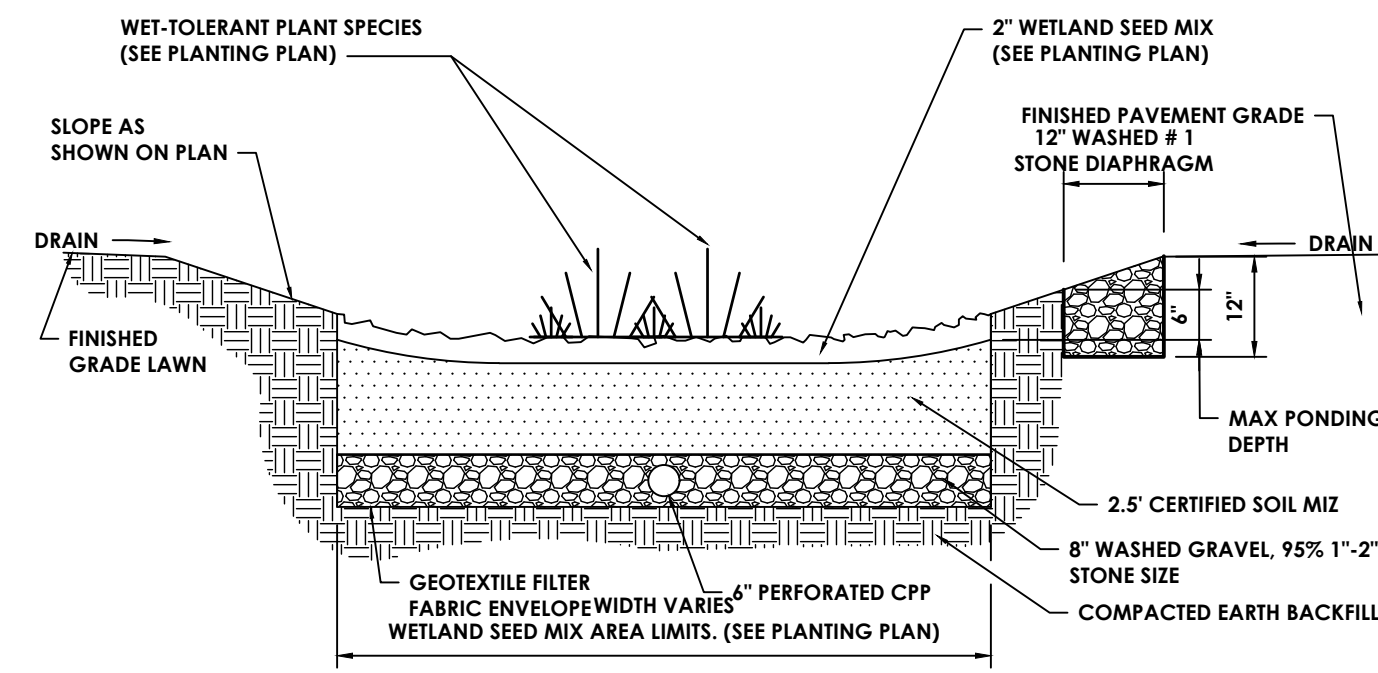
- NOTES:**
1. FRAME AND GRATE PROVIDE NEENAH R48328, HS-20-44 LOADING GRATE OR EQUAL.
 2. REINFORCEMENT SHALL HAVE A COVER OF 2" UNLESS OTHERWISE SHOWN.
 3. ALL CONCRETE FOR CATCH BASINS SHALL BE 4000 PSI CAST-IN-PLACE CONCRETE OR PRECAST CONCRETE.
 4. FILL WITH CEMENT MORTAR AND SEAL WITH ASPHALT EMULSION TACK COAT BETWEEN FRAME AND CURB.
 5. DESIGN LOADING: AASHTO H-20
 6. THE INTERIOR AND EXTERIOR OF CATCH BASIN SHALL BE COATED WITH TWO COATS OF KOPPEKS SUPER SERVICE BLACK OR APPROVED EQUAL.
 7. WATER TIGHT GROUT ALL CONNECTIONS. USE NON-SHRINK GROUT.



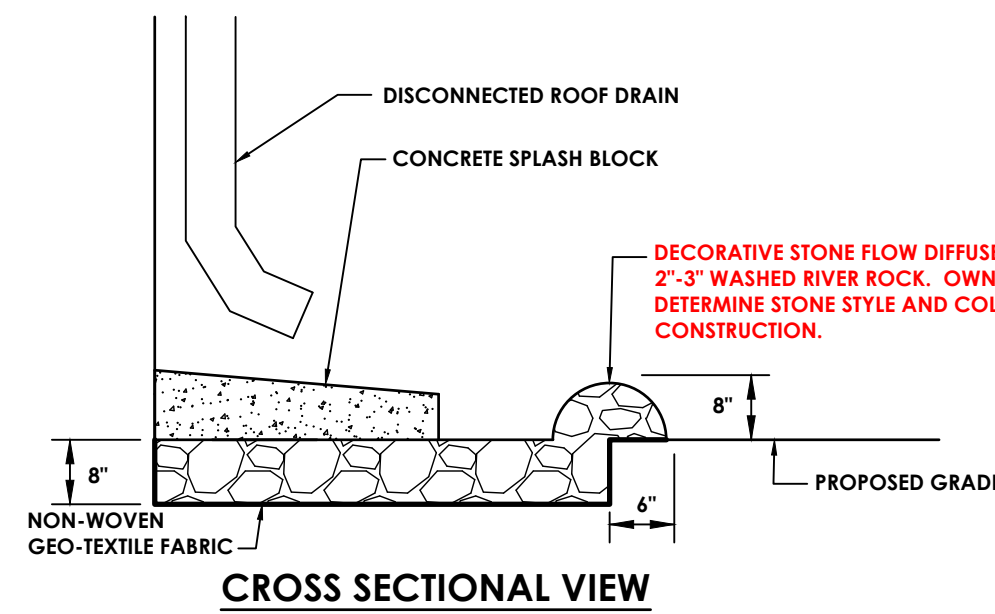
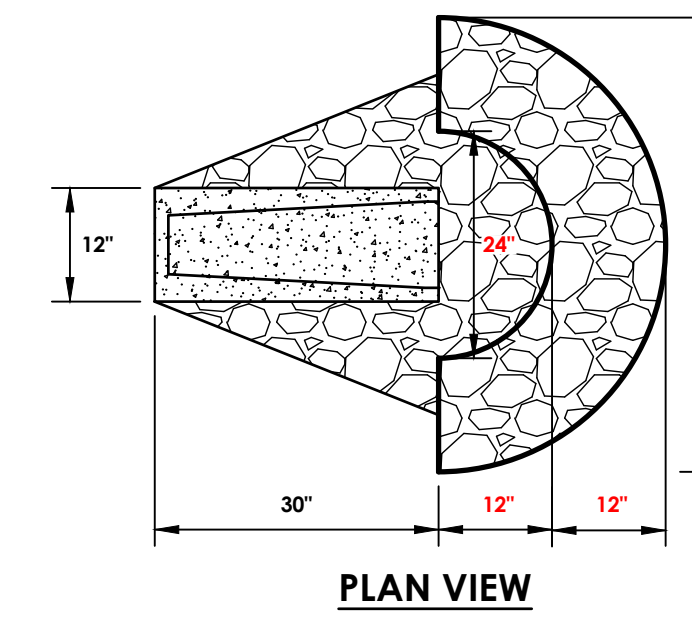
2'x2' CATCH BASIN
N.T.S.

BIORETENTION CERTIFIED SOIL MIX
85-90% SAND (50% BETWEEN #10 AND #40 SIEVE)
10-15% FINES (<200 SIEVE)
3-5% ORGANIC CONTENT

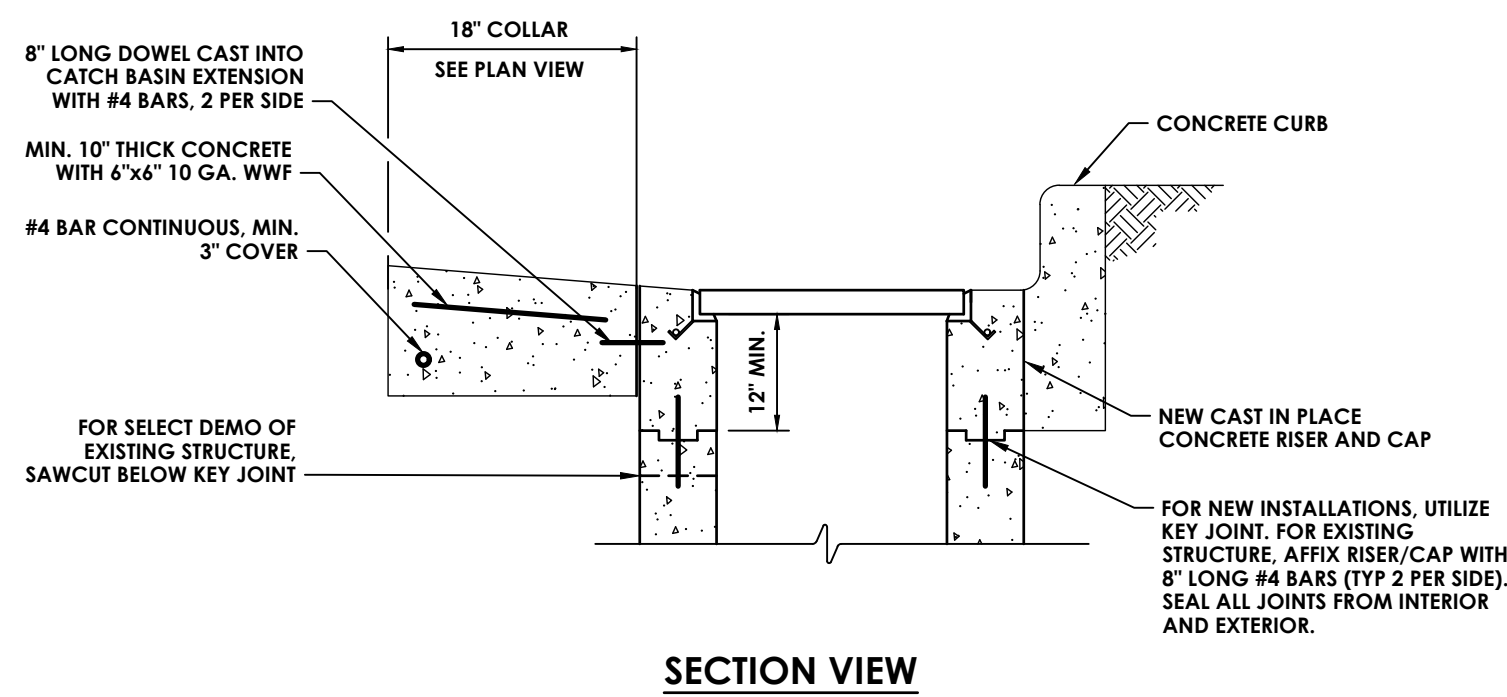
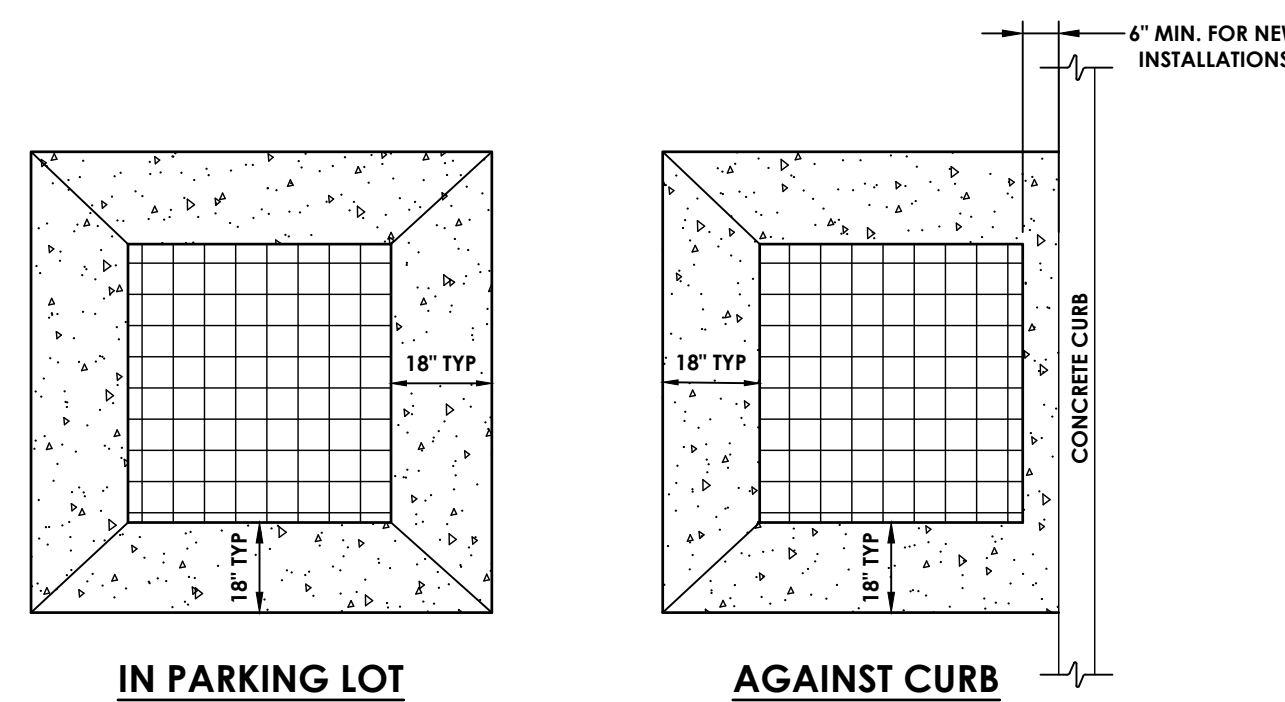
SOIL TO BE TESTED IN ACCORDANCE WITH NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL
*DETERMINE TYPE OF SOIL TO USE UNDERDRAIN. SEE DESIGN ENGINEER.



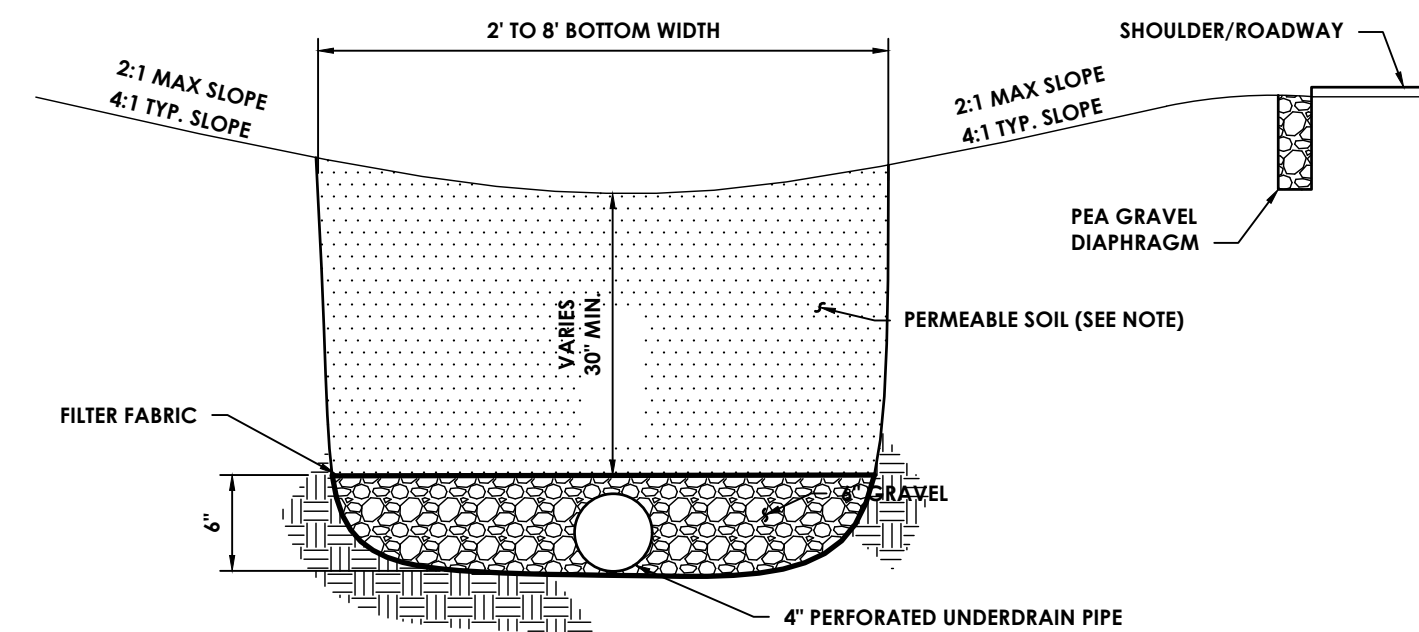
BIORETENTION
N.T.S.



DISCONNECTED ROOF DRAIN SPLASH BLOCK PAD
N.T.S.

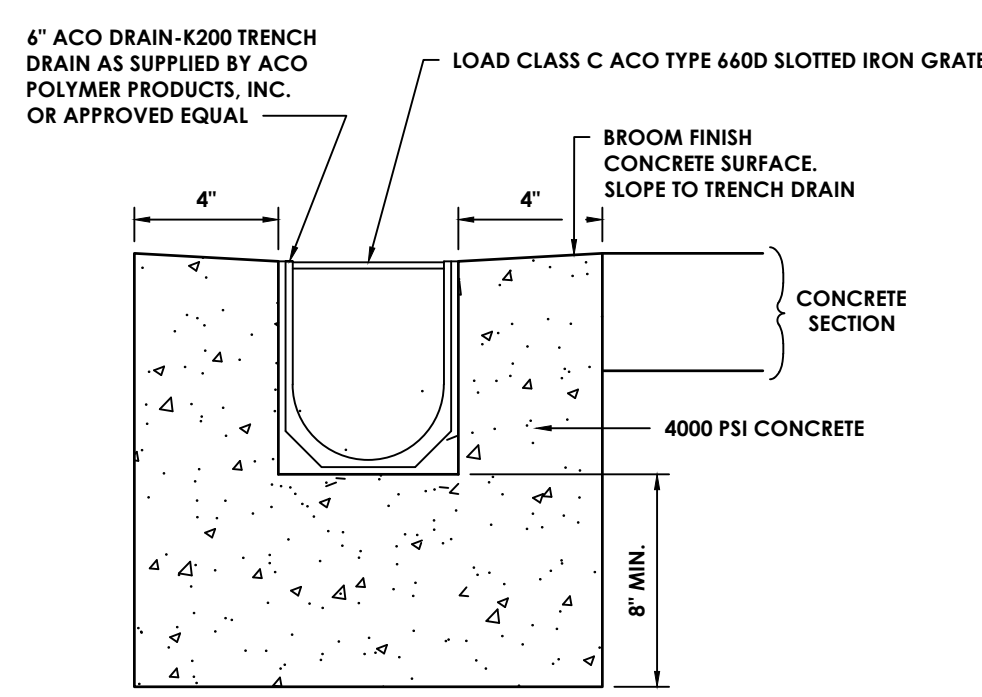


CONCRETE COLLAR (CB)
N.T.S.



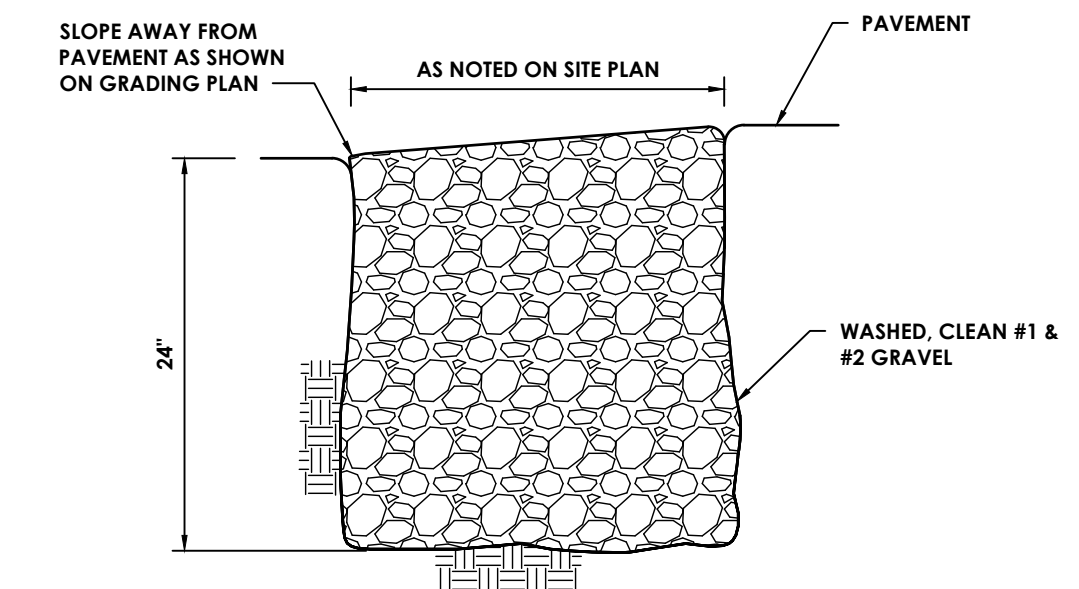
- NOTES:**
1. PERMEABLE SOIL SHALL BE A SANDY LOAM, LOAMY SAND, LOAM OR A LOAM/SAND MIX. THE CLAY CONTENT SHALL BE LESS THAN 25% BY VOLUME. A PERMEABILITY OF AT LEAST 1.0 FEET/DAY (0.5" HR) IS REQUIRED. THE SOIL SHALL BE FREE OF STONES, STUMPS, ROOTS AND OTHER WOODY MATERIAL. SOIL SHALL BE PLACED IN LIFTS OF 12" TO 18" AND LOOSELY COMPACTED (BACKHOE BUCKET).

DRY SWALE
N.T.S.

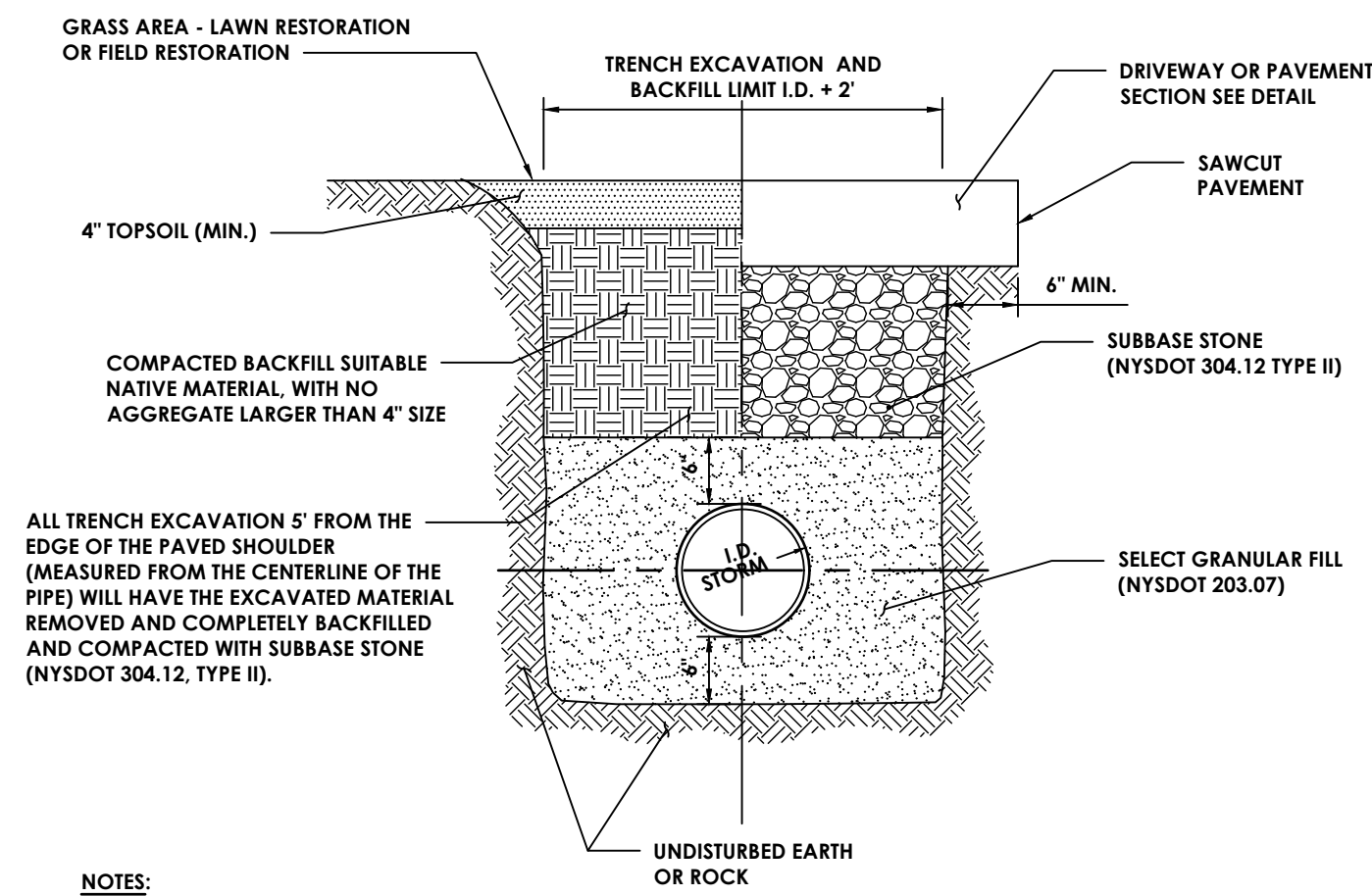
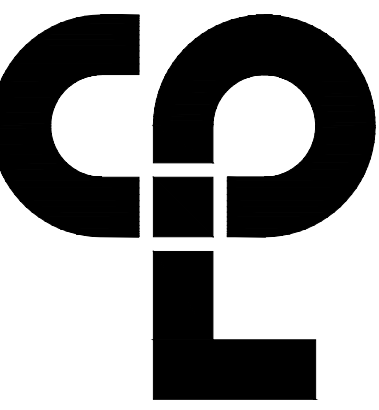


- NOTES:**
1. INSTALL TRENCH DRAIN AND GRATE PER MANUFACTURER'S RECOMMENDATIONS.

TRENCH DRAIN
N.T.S.



STONE DIAPHRAGM
N.T.S.



NOTES:

1. CONTRACTOR TO PROVIDE SAFE EXCAVATION; SLOPE TRENCH WALLS, USE TRENCH BOX, OR SHEETING & BRACING PER OSHA SPECIFICATIONS. TRENCH BOX OR SHEETING AND BRACING TO BE LIFTED ABOVE THE SPRING LINE OR PIPE BEFORE BACKFILLING ABOVE SPRING LINE.
2. PAVEMENT BACKFILL AND RESTORATION REQUIREMENTS SHALL APPLY TO WORK PERFORMED UNDER PROPOSED ROADWAYS.
3. ALL WORK FOR STORM SEWER TRENCHING SHALL BE INCLUDED. THIS WORK INCLUDES, BUT IS NOT LIMITED TO TRENCHING, EXCAVATION AND ALL BACKFILL. NO ADDITIONAL PAYMENTS WILL BE MADE FOR BACKFILL.

STORM SEWER TRENCH
 N.T.S.

PROJECT INFORMATION

Project Number
 15925.00
 Client Name
 KEARNEY REALTY &
 DEVELOPMENT GROUP, INC
 Project Name
 THE HAMLET AT
 RHINEBECK

Project Address
 ASTOR DR
 RHINEBECK, NY 12572
 SED Number
 N/A

REVISION SCHEDULE

No.	Date	Description
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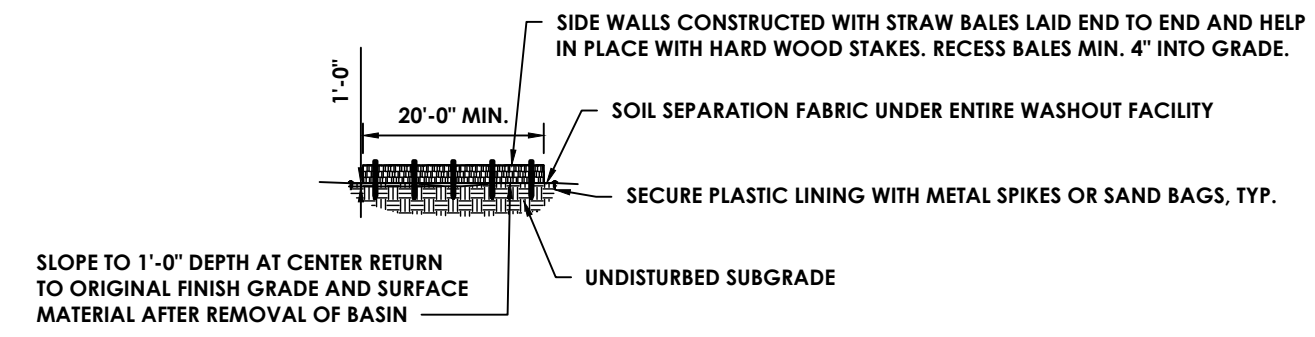
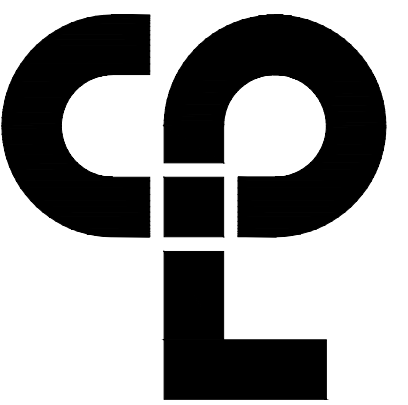
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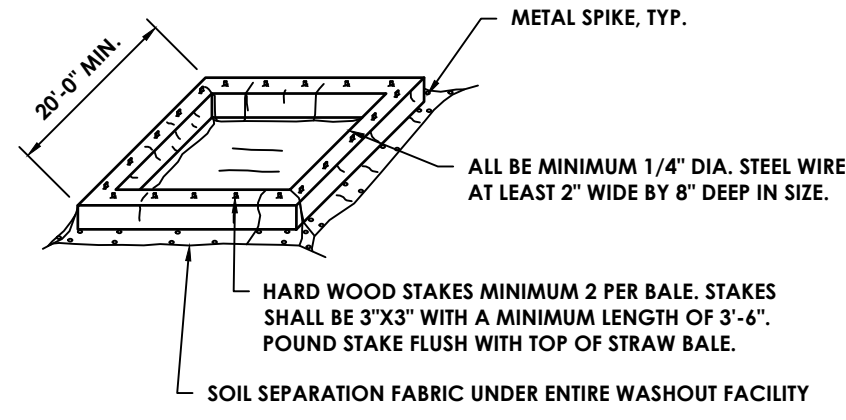
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Issued 3/9/2022	Scale AS NOTED
Project Status DESIGN	
Drawn By KRS	Checked By ALL
Drawing Title STORMWATER DETAILS - 2	

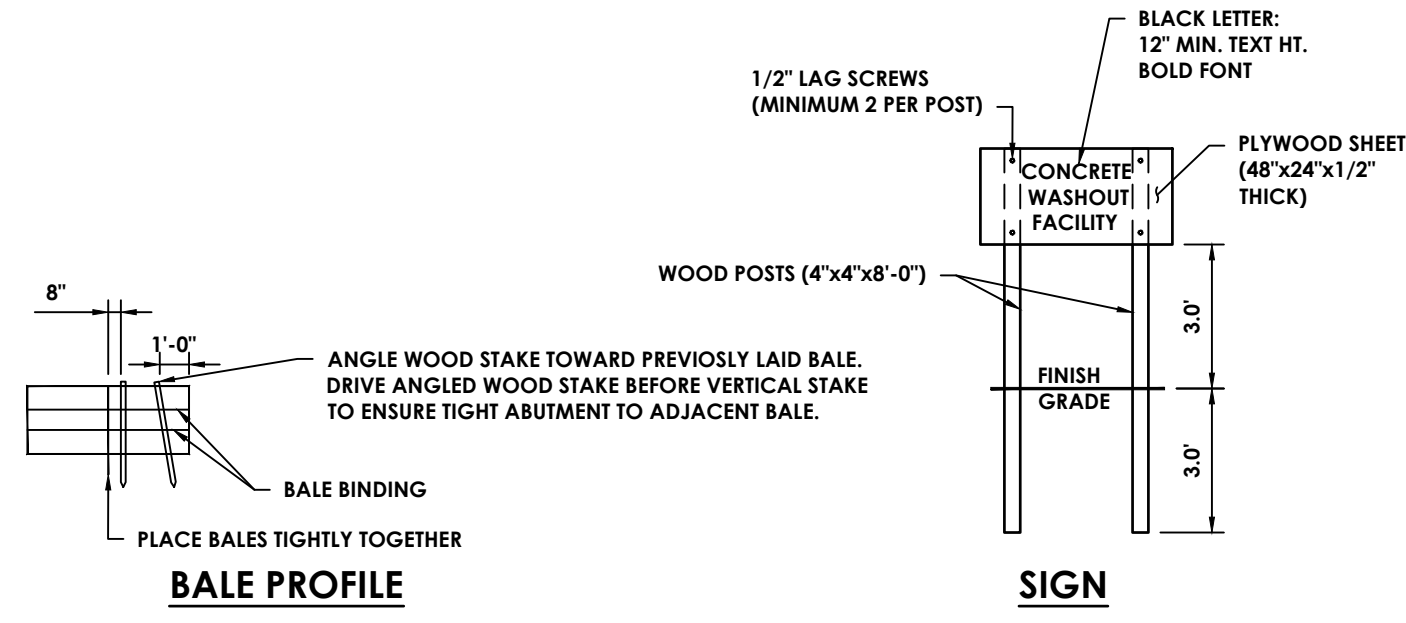
Drawing Number	Revision Number
HAR C531	



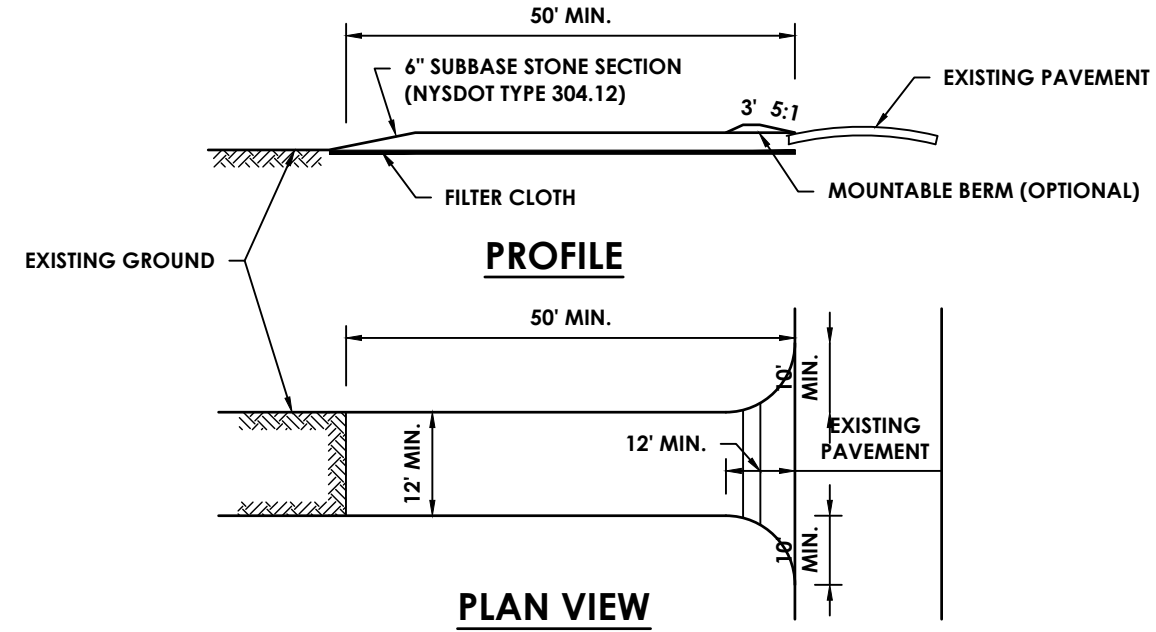
PROFILE OF FACILITY



ISOMETRIC VIEW OF FACILITY



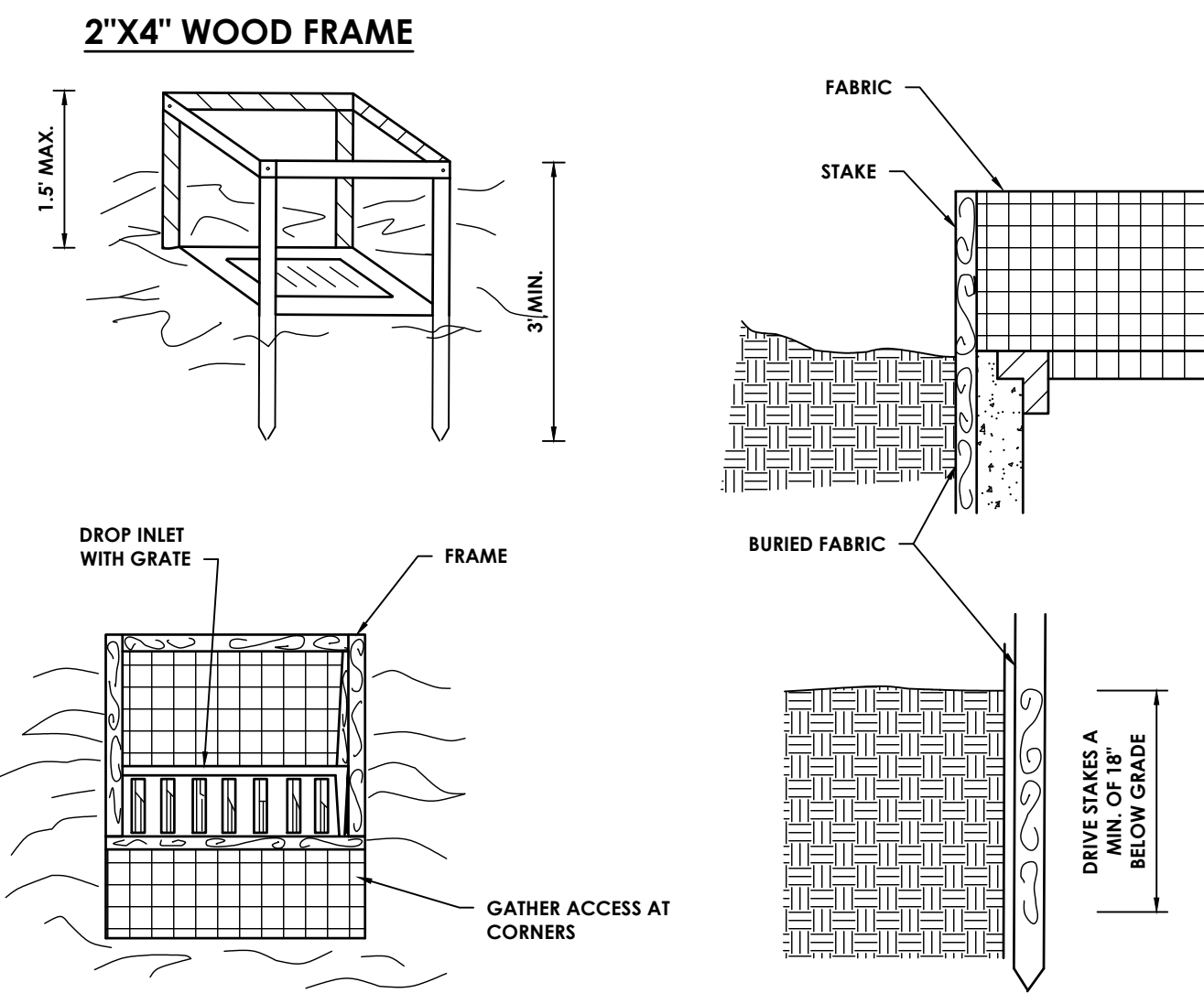
CONCRETE TRUCK WASHOUT
 N.T.S.



CONSTRUCTION NOTES:

- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
- THICKNESS - NOT LESS THAN SIX (6) INCHES
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5% SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

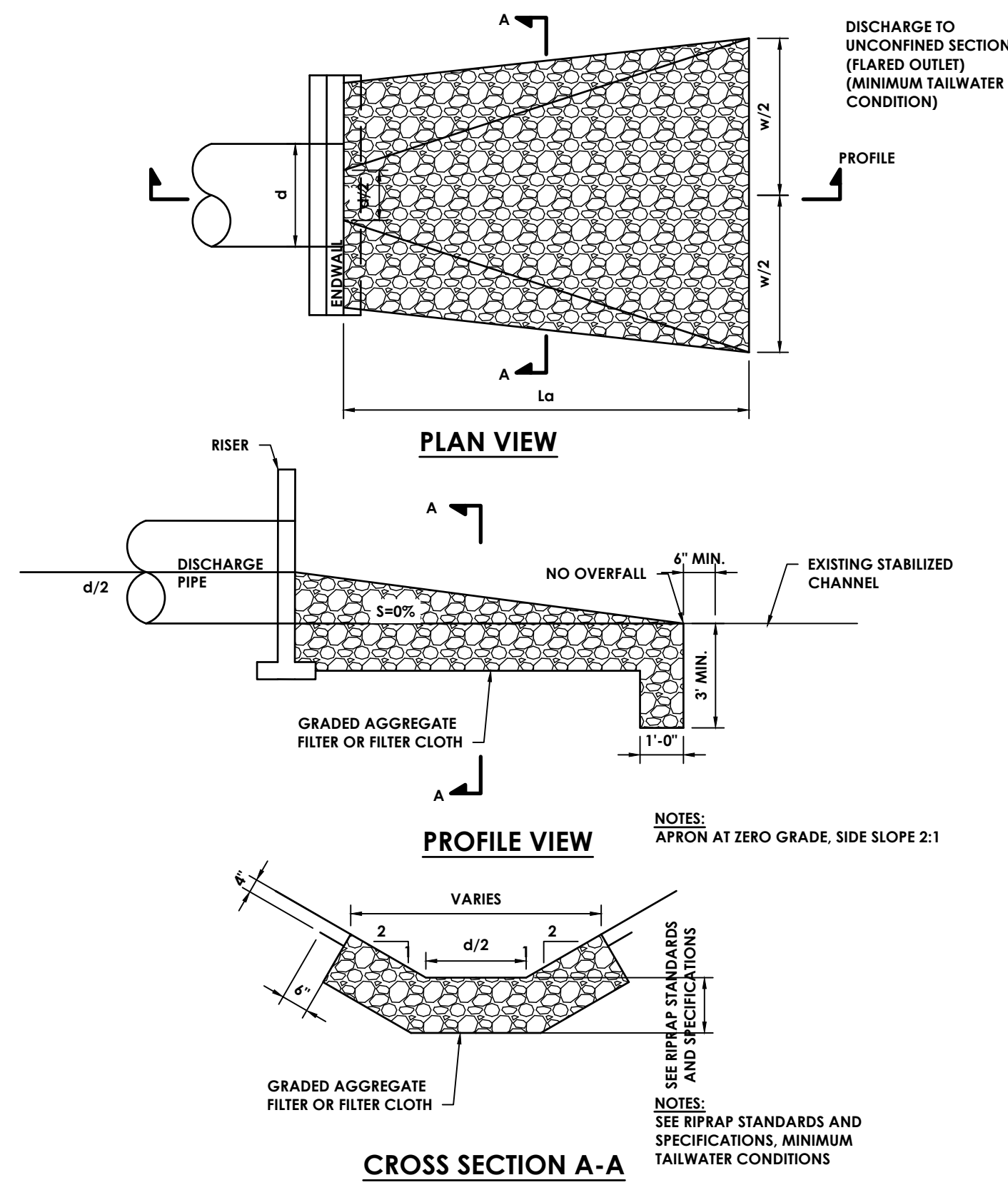
STABILIZED CONSTRUCTION ENTRANCE/DRIVEWAY
 N.T.S.



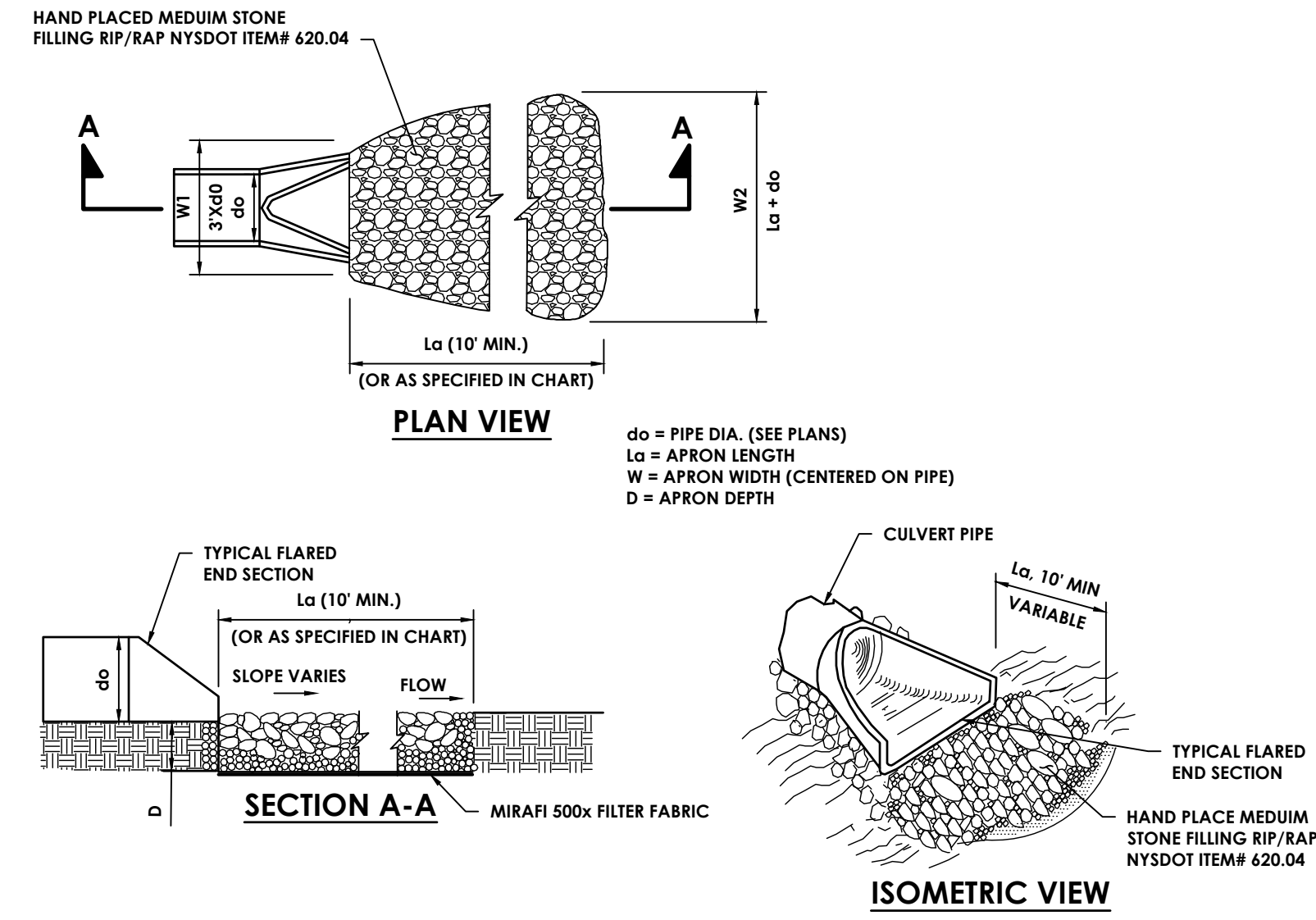
CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 - STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
 - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
 - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
 - A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
- *MAXIMUM DRAINAGE AREA 1 ACRE

FILTER FABRIC DROP INLET PROTECTION
 N.T.S.



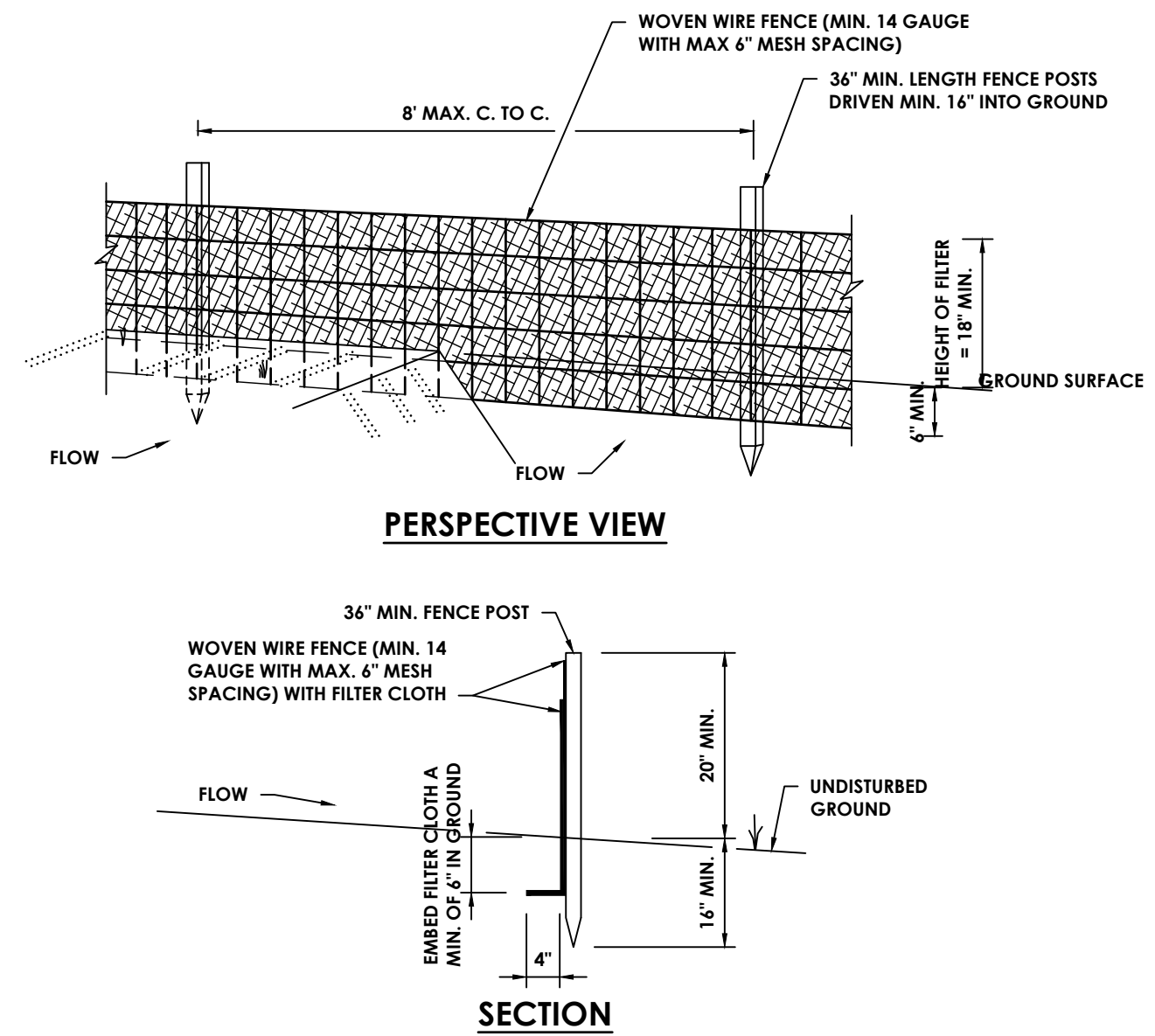
RIP-RAP STONE PROTECTION TYPE A
 N.T.S.



RIP RAP SIZING CHART					
PIPE DIA.	W1 - MINIMUM	W2 - MINIMUM	La - MINIMUM	D - MINIMUM	
12"	3'	11'	10'	13.5"	
18"	4.5'	11.5'	10'	13.5"	
24"	6'	12'	10'	13.5"	
36"	9'	12.5'	10'	13.5"	

- NOTES:**
- d = 1.5 TIMES THE MAXIMUM STONE BUT NO LESS THAN 6"
 - INSTALL FILTER MIRAFI 500x OR APPROVED EQUAL FILTER FABRIC BETWEEN RIP-RAP AND SUBGRADE.

RIP-RAP OUTLET PROTECTION DETAIL
 N.T.S.



CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIRES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP OF MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILUNKA T140N OR APPROVED EQUAL. PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE

SILT FENCE
 N.T.S.

PROJECT INFORMATION

Project Number
 15925.00
 Client Name
 KEARNEY REALTY & DEVELOPMENT GROUP, INC
 Project Name
 THE HAMLET AT RHINEBCK

Project Address
 ASTOR DR
 RHINEBCK, NY 12572
 SED Number
 N/A

REVISION SCHEDULE

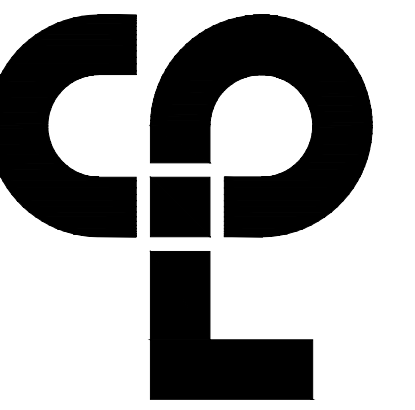
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SHEET INFORMATION

Issue
 3/9/2022
 Scale
 AS NOTED
 Project Status
 DESIGN
 Drawn By
 KRS
 Checked By
 ALL
 Drawing Title
 EROSION & SEDIMENT CONTROL DETAILS



CPL | Architecture Engineering Planning
 24 IBM ROAD
 Poughkeepsie, NY 12601
 CPLteam.com

PROJECT INFORMATION

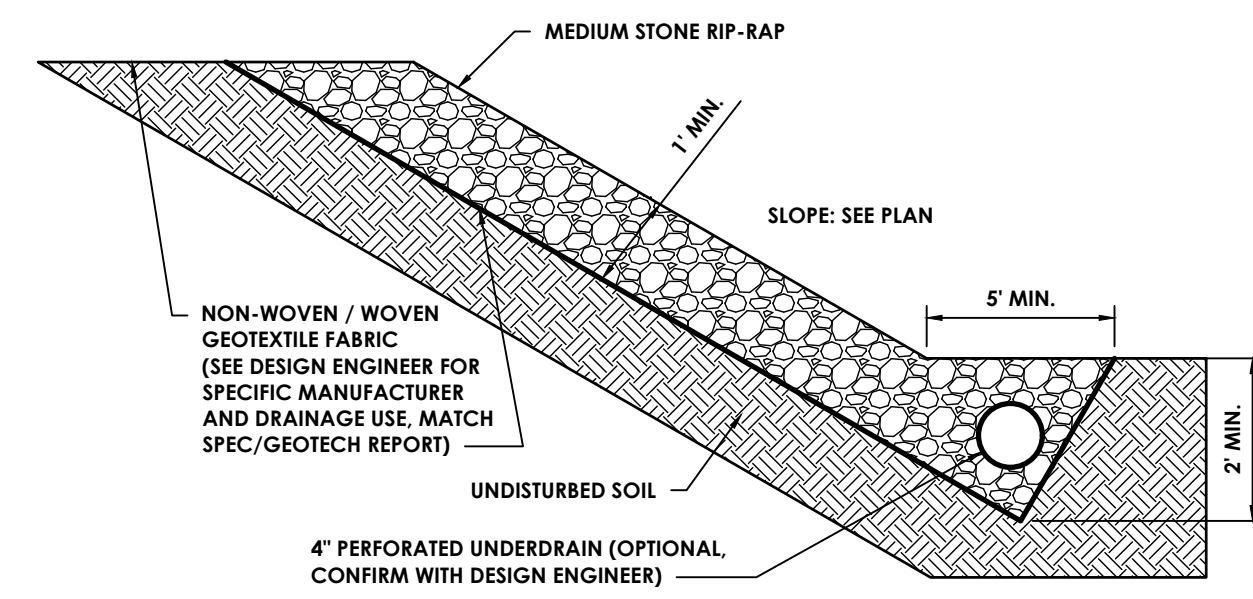
Project Number
15925.00
 Client Name
KEARNEY REALTY & DEVELOPMENT GROUP.

Project Name
THE HAMLET AT
RHINEBECK

Project Address
ASTOR DR
RHINEBECK, NY 12572
 SED Number
N/A

REVISION SCHEDULE

No.	Date	Description
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RIP-RAP SLOPE PROTECTION

N.T.S.

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SHEET INFORMATION

Issued	Scale
3/9/2022	AS NOTED
Project Status	
DESIGN	
Drawn By	Checked By
KRS	ALL
Drawing Title	

EROSION & SEDIMENT CONTROL DETAILS - 2

Drawing Number	Revision Number
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HAR
C541

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Date last accessed: 6/17/2021 9:27 PM

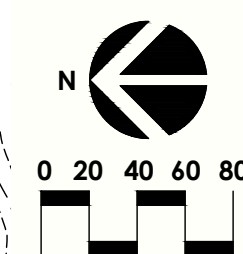
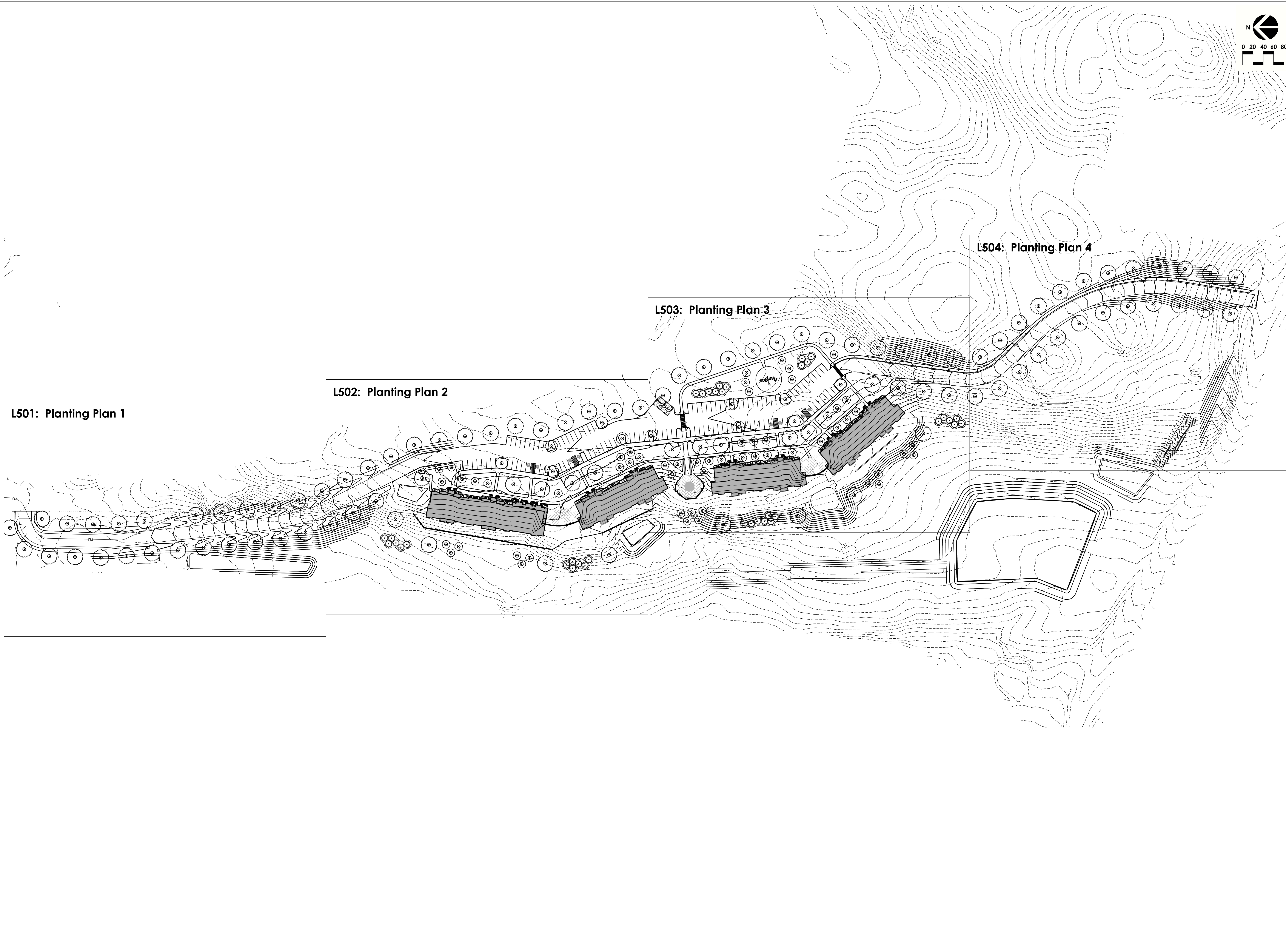
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Date last plotted: 6/1/2022 4:39 PM

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PROJECT INFORMATION

Project Number: 15925.00
Client Name: KEARNEY REALTY & DEVELOPMENT GROUP, INC
Project Name: THE HAMLET AT RHINEBCK

Project Address: ASTOR DR, RHINEBCK, NY 12572
S&D Number: N/A

REVISION SCHEDULE

No.	Date	Description
1	05/24/2022	PER TOWN BOARD COMMENTS
2	06/01/2022	PER BOARD COMMENTS

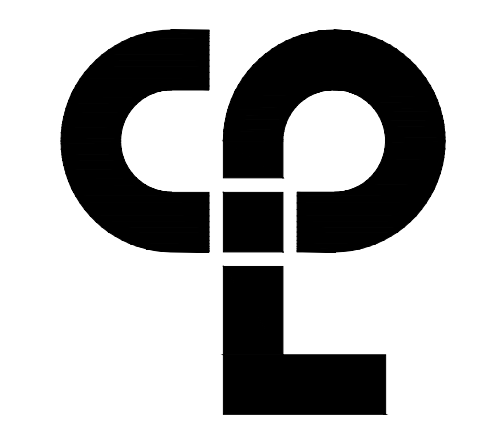
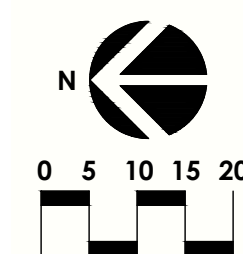
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SHEET INFORMATION

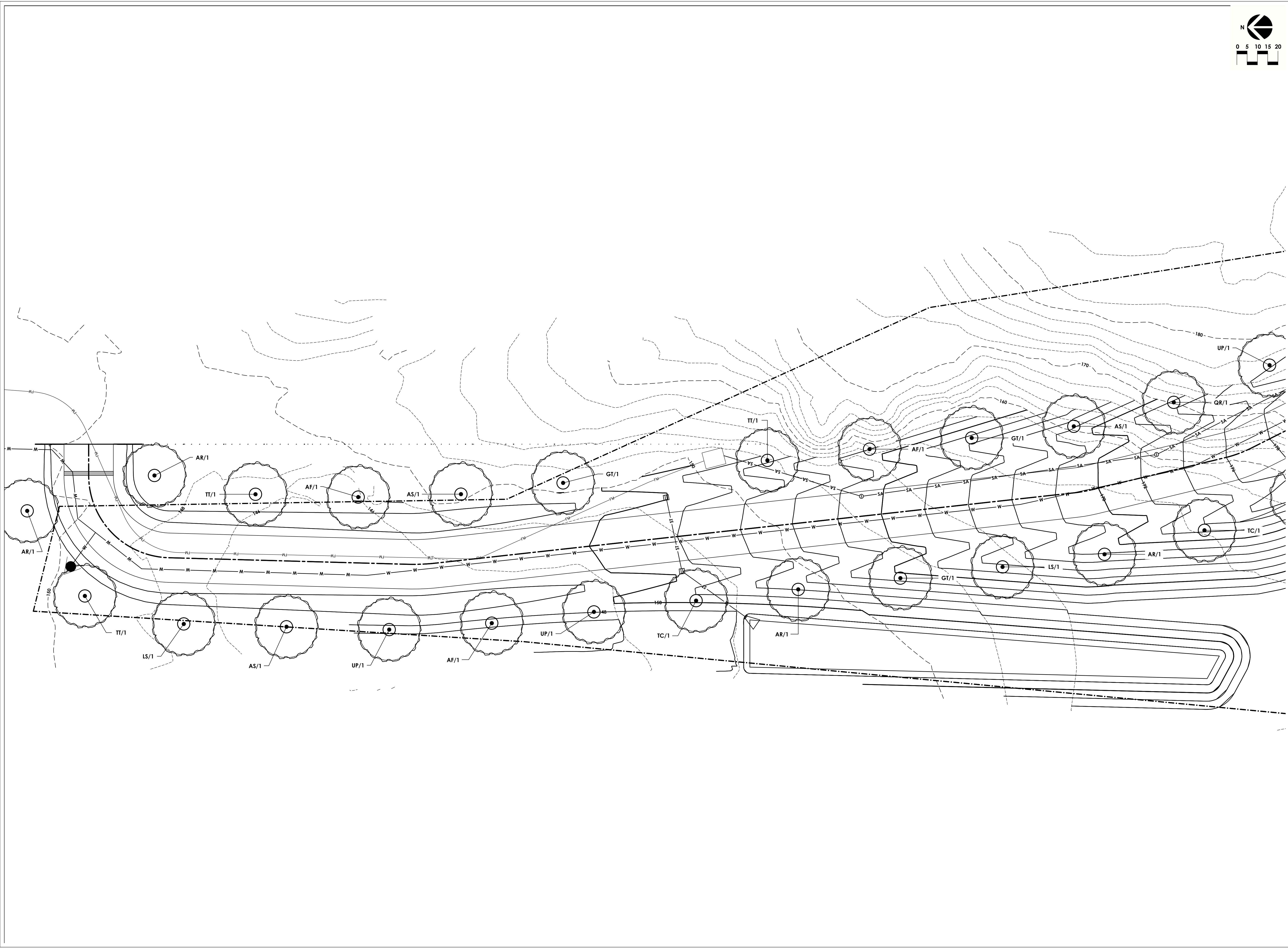
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Drawn By: RHW	Checked By: AL
Drawing Title: Planting Plan Overall	

Drawing Number: **L 500** Revision Number: **-----**



CPL | Architecture Engineering Planning
 26 IBM ROAD
 Poughkeepsie, NY 12601
 CPLteam.com

Sheet Size: 24x36
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 Plotted By: Richard Waite



PROJECT INFORMATION

Project Number: 15925.00
 Client Name: KEARNEY REALTY & DEVELOPMENT GROUP, INC
 Project Name: THE HAMLET AT RHINEBECK
 Project Address: ASTOR DR, RHINEBECK, NY 12572
 SIB Number: N/A

REVISION SCHEDULE

No.	Date	Description
1	05/24/2022	PER TOWN BOARD COMMENTS
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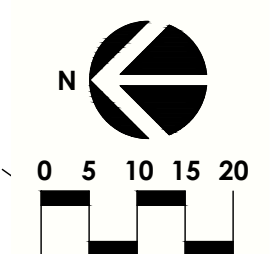
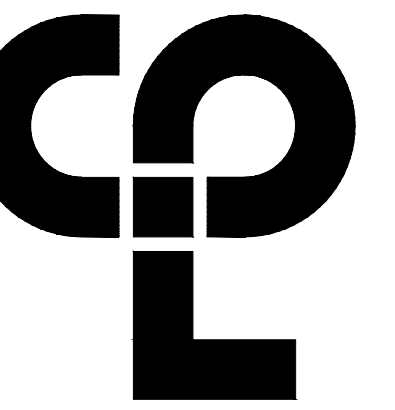
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SHEET INFORMATION

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Project Status: DESIGN	
Drawn By: RHW	Checked By: AL
Drawing Title: Planting Plan 1	

Drawing Number: **L 501**
 Revision Number: **---**



PROJECT INFORMATION

Project Number
15925.00
 Client Name
KEARNEY REALTY & DEVELOPMENT GROUP, INC
 Project Name
THE HAMLET AT RHINEBECK

Project Address
ASTOR DR
RHINEBECK, NY 12572
 STD Number
N/A

REVISION SCHEDULE

No.	Date	Description
1	09/24/2022	PER TOWN BOARD COMMENTS
2	06/16/2022	PER BOARD COMMENTS

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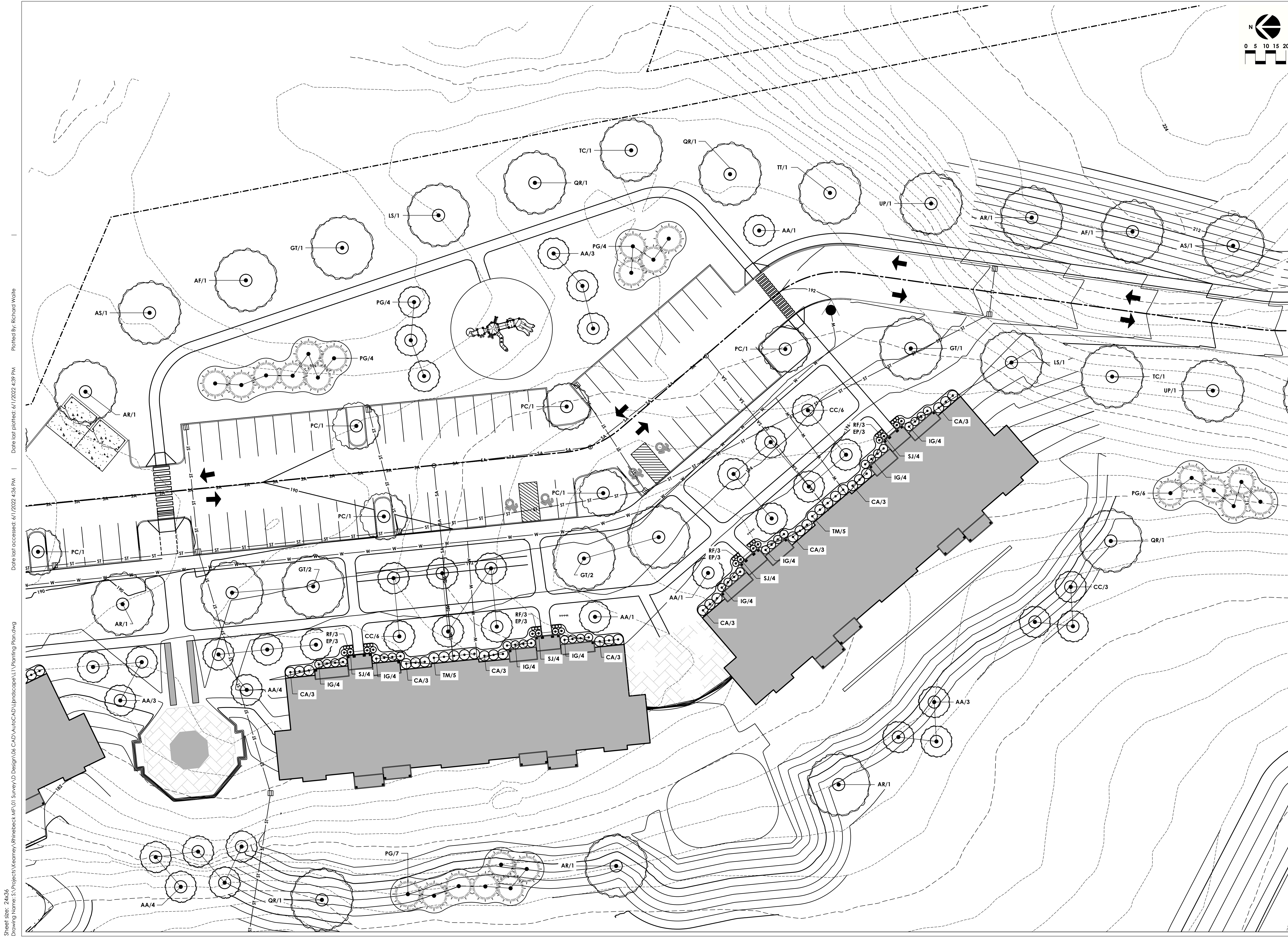
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Issued
3/9/2022
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DESIGN
 Drawn By
RHW
 Checked By
AL
 Drawing Title
Planting Plan 2

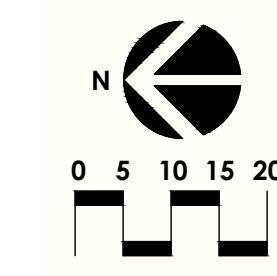
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Revision Number

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 Plotted By: Richard Waite



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 Plotted By: Richard Waite



PROJECT INFORMATION

Project Number: 15925.00
 Client Name: KEARNEY REALTY & DEVELOPMENT GROUP, INC
 Project Name: THE HAMLET AT RHINEBECK
 Project Address: ASTOR DR, RHINEBECK, NY 12572
 STD Number: N/A

REVISION SCHEDULE

No.	Date	Description
1	05/24/2022	PER TOWN BOARD COMMENTS
2	06/16/2022	PER BOARD COMMENTS

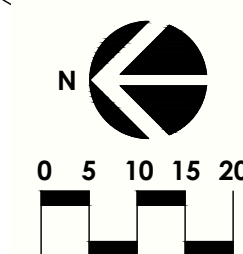
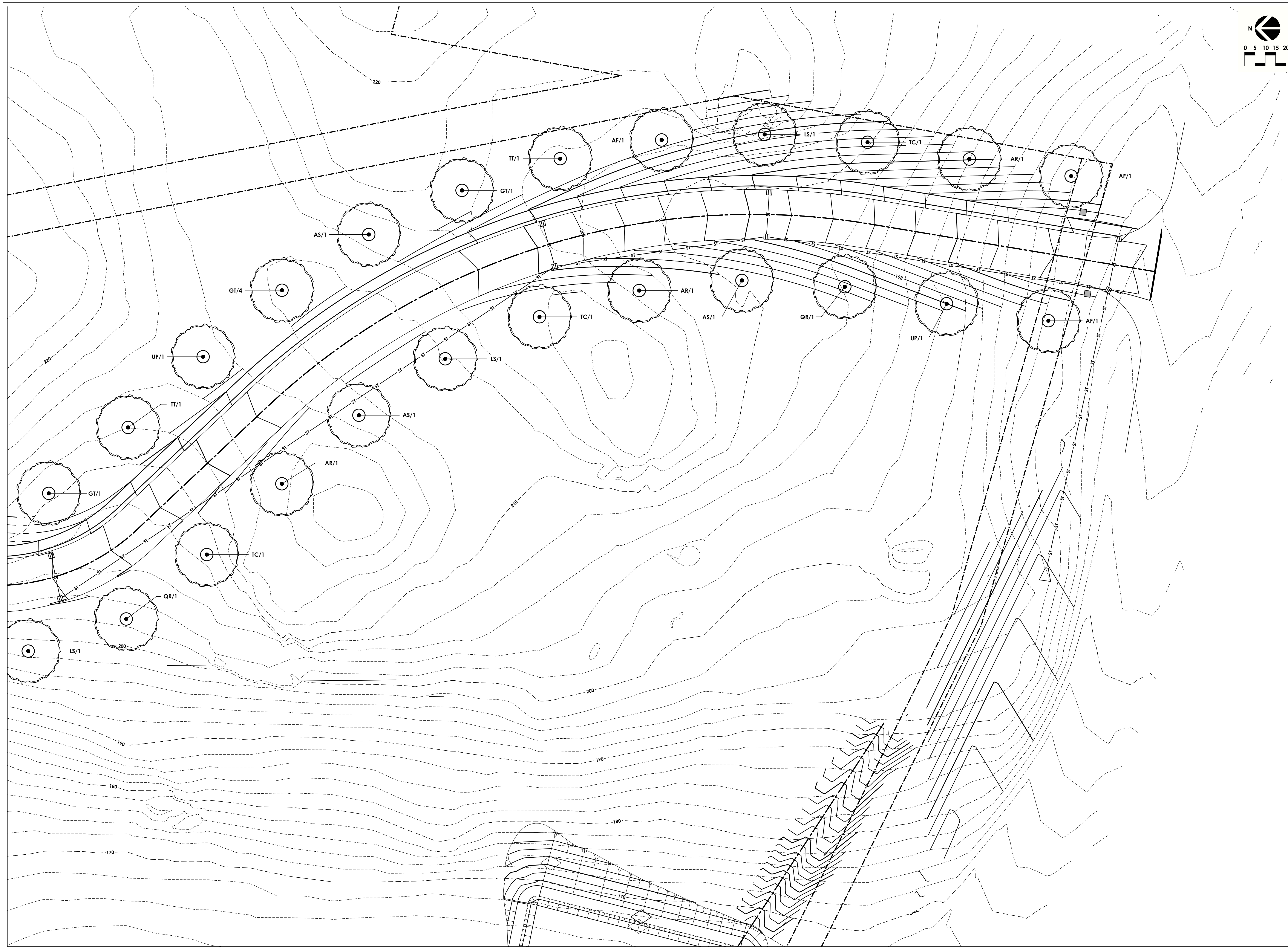
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SHEET INFORMATION

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Project Status: DESIGN	
Drawn By: RHW	Checked By: AL
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Sheet size: 24x36
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Plotted By: Richard Waite



PROJECT INFORMATION

Project Number	15925.00
Client Name	KEARNEY REALTY & DEVELOPMENT GROUP, INC
Project Name	THE HAMLET AT RHINEBECK
Project Address	ASTOR DR RHINEBECK, NY 12572
SID Number	N/A

REVISION SCHEDULE

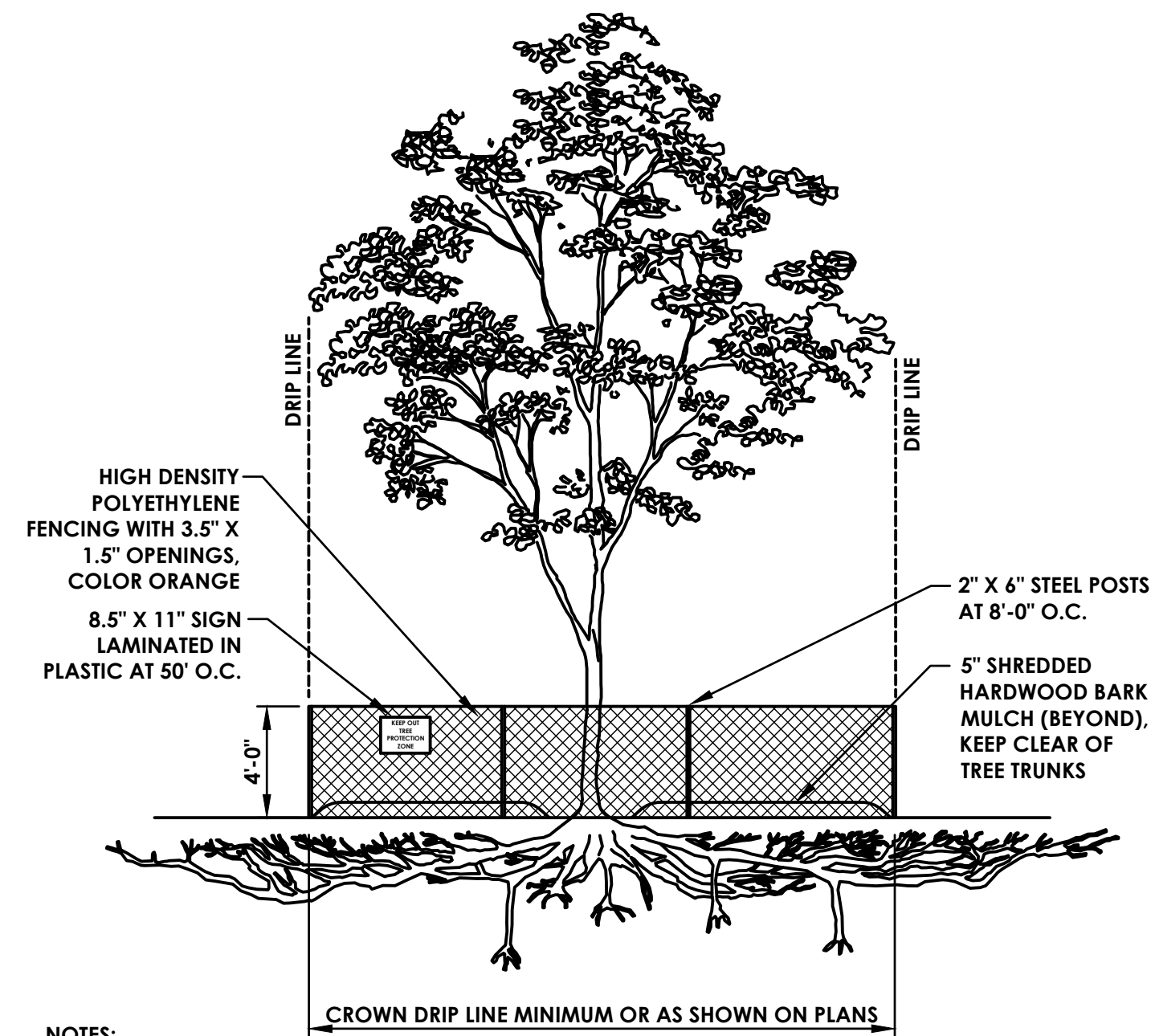
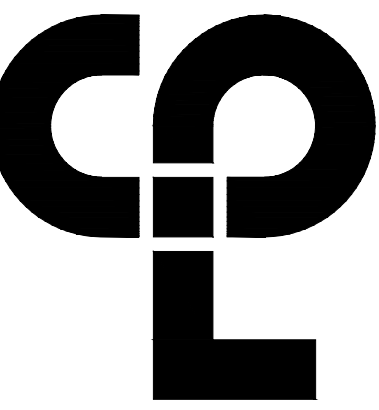
No.	Date	Description
1	05/24/2022	PER TOWN BOARD COMMENTS
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SHEET INFORMATION

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Project Status	DESIGN	Drawn By	RHW	Checked By	AL
Drawing Title	Planting Plan 4				

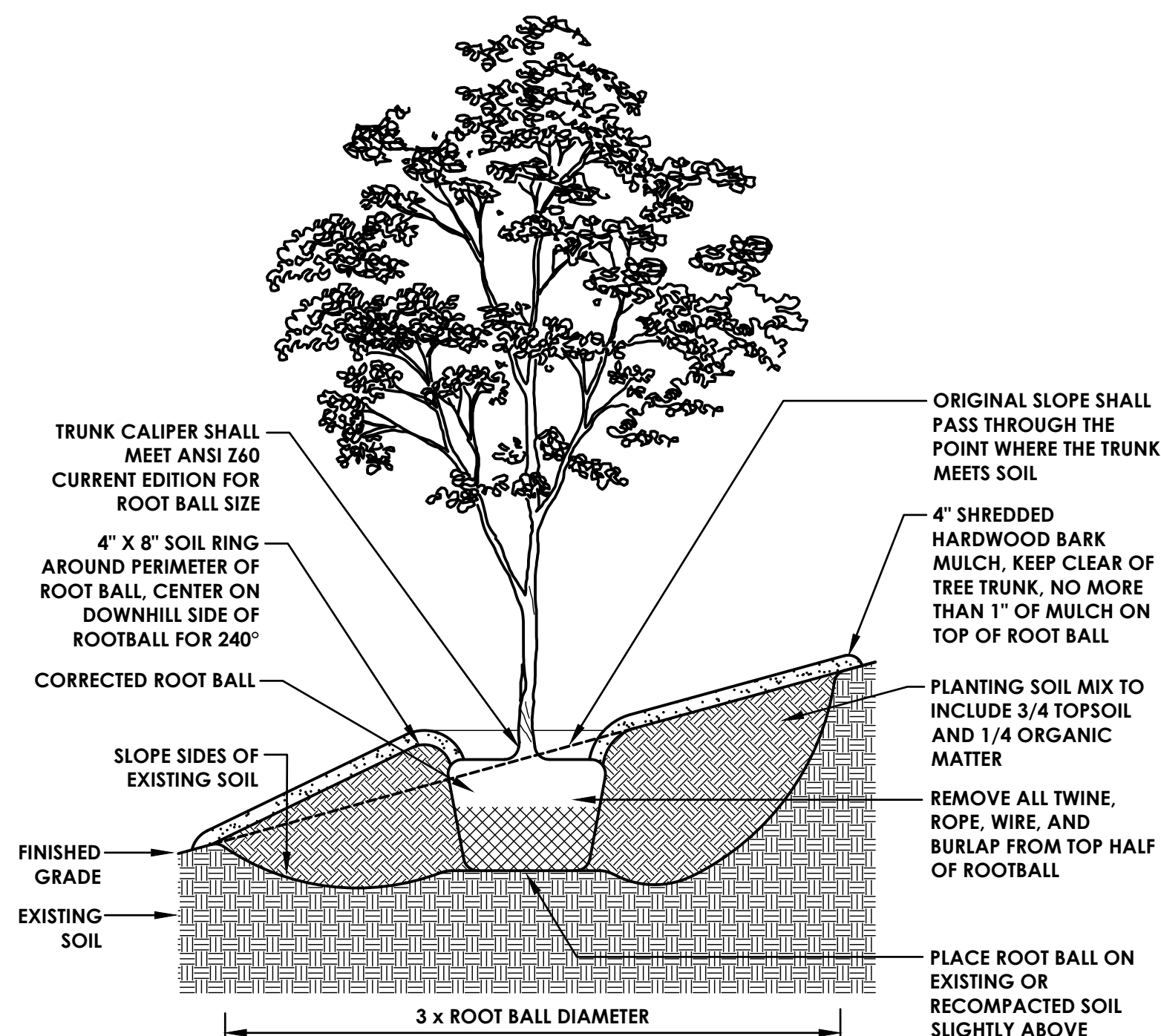


NOTES:

- INDIVIDUAL TREES AND PLANT GROUPS TO RECEIVE THIS PROTECTIVE TREATMENT ARE INDICATED ON THE DEMOLITION PLAN. WHERE SPATIAL CONSTRAINTS PREVENT INSTALLATION OF THE FENCING AS SHOWN ON THE PLANS AND THIS DETAIL, CONSULT WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- NO CROWN OR ROOT PRUNING SHALL BE PERFORMED INSIDE OF THE PROTECTIVE FENCING EXCEPT BY AN APPROVED ARBORIST.
- NO EQUIPMENT SHALL BE OPERATED INSIDE THE PROTECTIVE FENCING INCLUDING DURING THE TIMES OF FENCE INSTALLATION AND REMOVAL.

TREE PROTECTION FENCING

N.T.S.

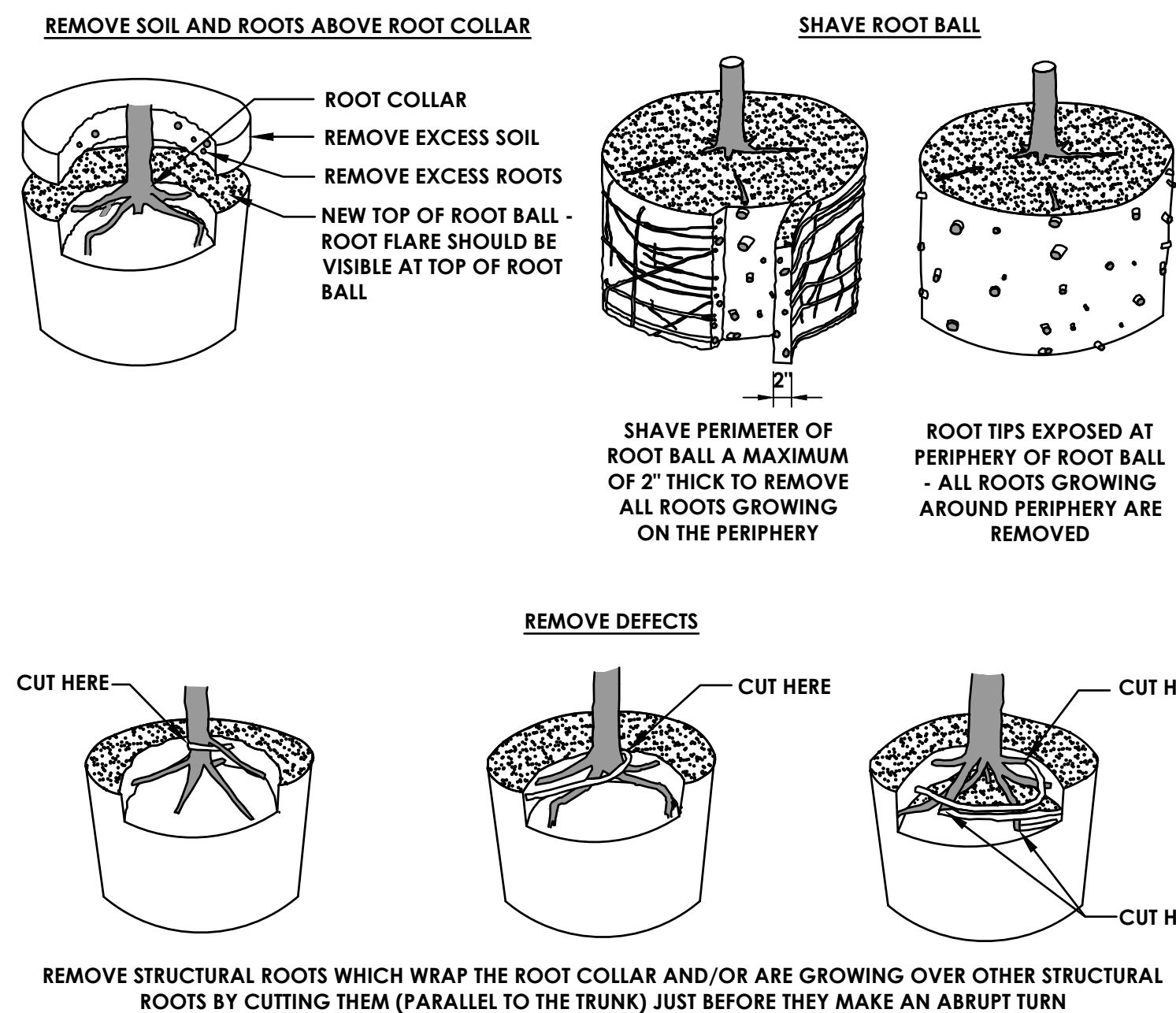


NOTES:

- DO NOT HEAVILY PRUNE TREES AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN PLANTING HOLE HAS BEEN BACKFILLED POUR WATER AROUND THE ROOT BALL TO SETTLE THE SOIL.
- STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- MARK THE NORTH SIDE OF THE TREE AT THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
- ROOT BALLS SHALL BE CORRECTED PRIOR TO PLANTING PER THE ROOT BALL CORRECTION DETAILS.

TREE PIT ON SLOPE

N.T.S.

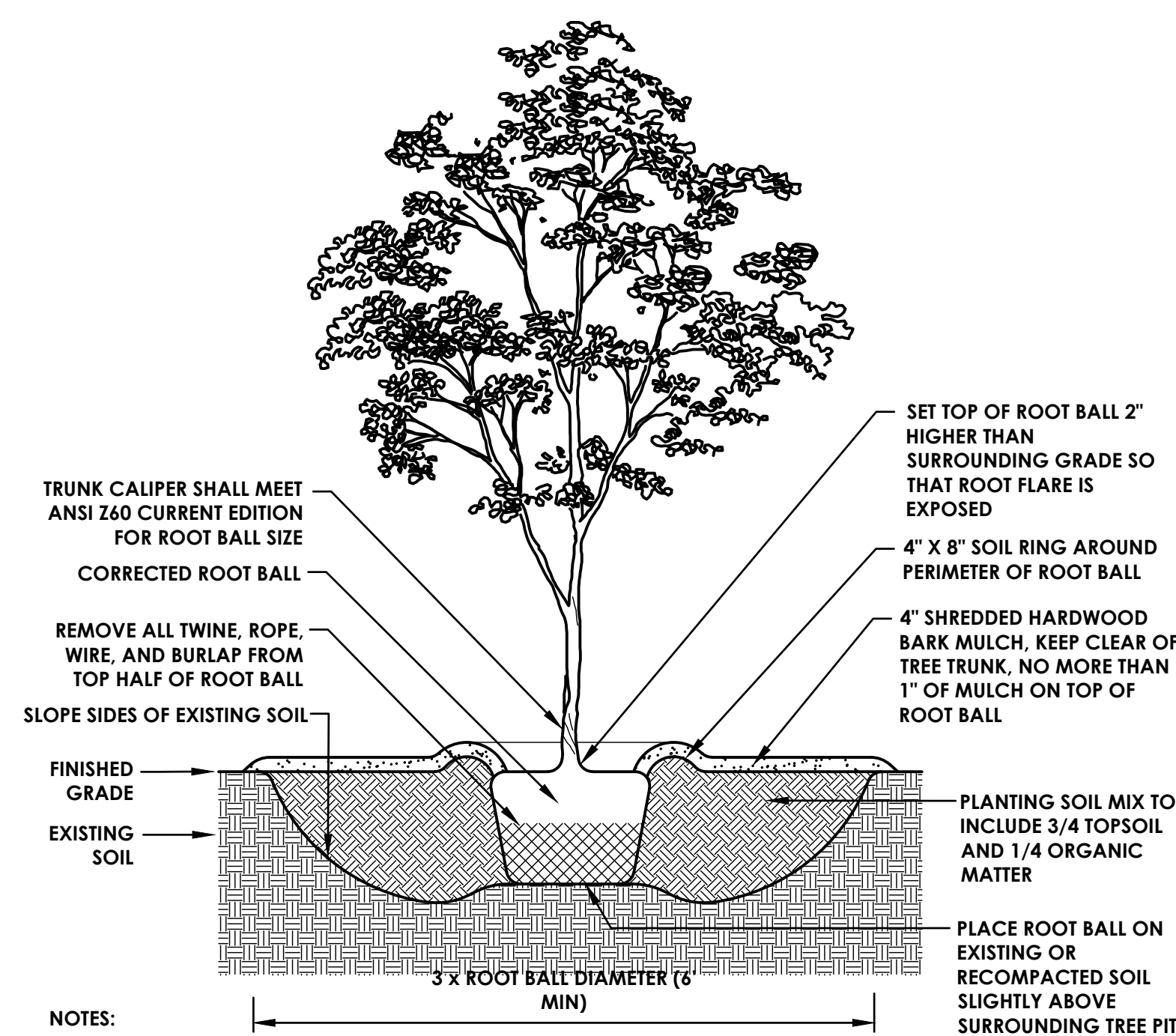


NOTES:

- ALL PLANTS ARE REJECTABLE UNLESS THEY UNDERGO RECOMMENDED CORRECTION.
- SMALL ROOTS (1/4" OR LESS) ON THE PERIPHERY OF THE ROOT BALL ARE COMMON WITH CONTAINER PLANT PRODUCTION. THESE SMALL ROOTS ARE NOT DEFINED AS DEFECTS BUT SHOULD BE ADDRESSED AT THE TIME OF INSTALLATION.
- SHAVING TO BE DONE USING A SHARP BLADE OR HAND SAW ELIMINATING NO MORE THAN NEEDED TO REMOVE ALL ROOTS ON THE PERIPHERY OF THE ROOT BALL.
- SHAVING CAN BE PERFORMED JUST PRIOR TO PLANTING OR AFTER PLACING THE ROOT BALL IN THE HOLE.

ROOT CORRECTION FOR CONTAINER PLANTS

N.T.S.

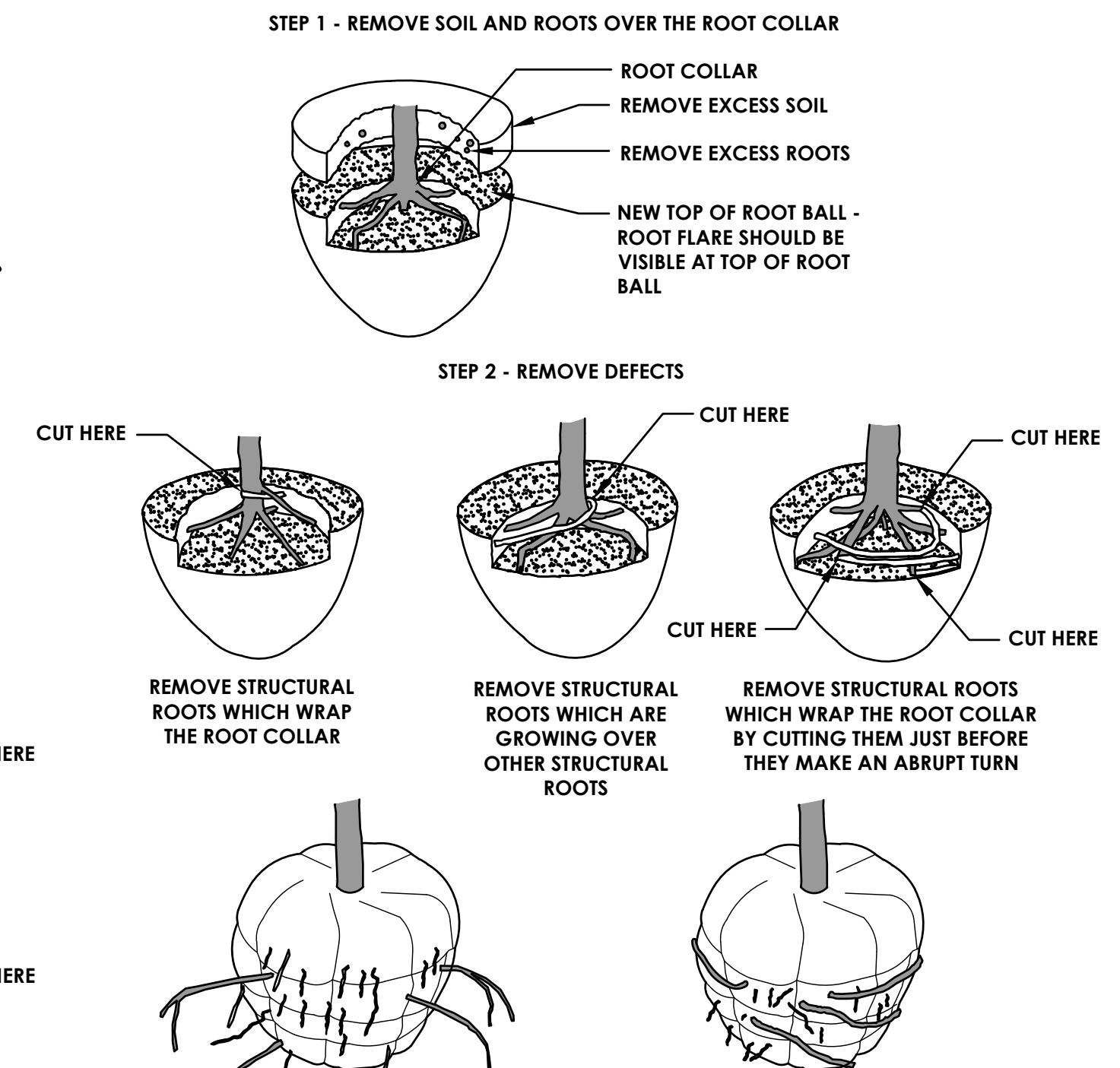


NOTES:

- DO NOT HEAVILY PRUNE TREES AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 4" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN PLANTING HOLE HAS BEEN BACKFILLED POUR WATER AROUND THE ROOT BALL TO SETTLE THE SOIL.
- STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- MARK THE NORTH SIDE OF THE TREE AT THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
- ROOT BALLS SHALL BE CORRECTED PRIOR TO PLANTING PER THE ROOT BALL CORRECTION DETAILS.

TREE PIT

N.T.S.

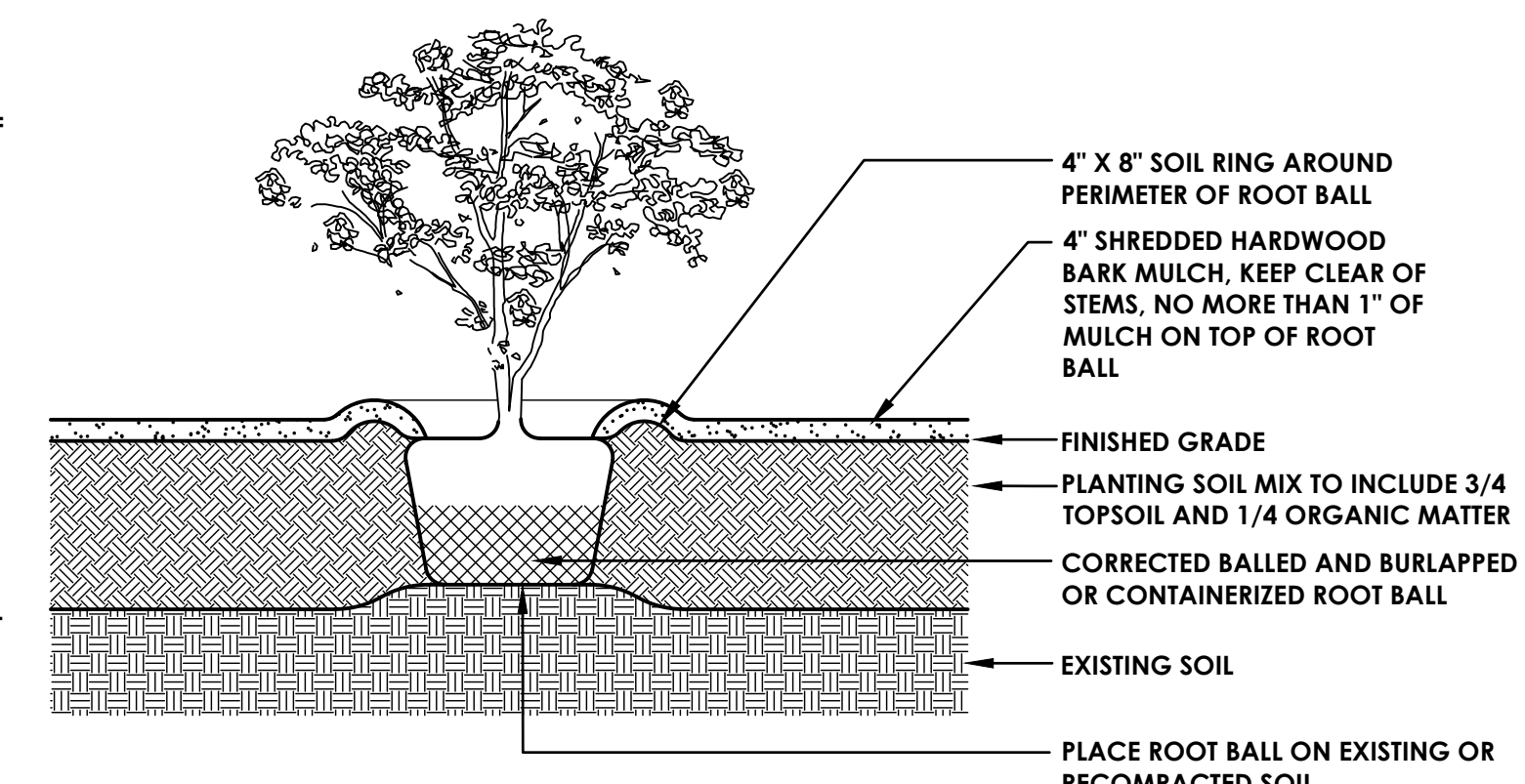


NOTES:

- ALL TREES ARE REJECTABLE UNLESS THEY UNDERGO RECOMMENDED CORRECTION.
- ADJUST HOLE DEPTH TO ACCOUNT FOR THE REMOVAL OF EXCESS SOIL AND ROOTS OVER THE COLLAR AND ACHIEVE APPROPRIATE ELEVATION OF ROOT FLARE.

ROOT CORRECTION FOR BALLED AND BURLAPPED PLANTS

N.T.S.



NOTES:

- DO NOT HEAVILY PRUNE SHRUBS AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 4" LIFTS TO BRACE SHRUB. DO NOT OVER COMPACT. WHEN PLANTING HOLE HAS BEEN BACKFILLED POUR WATER AROUND THE ROOT MASS TO SETTLE THE SOIL.
- ROOT BALLS OF BOTH CONTAINERIZED AND BALLED AND BURLAPPED PLANTS SHALL BE CORRECTED PRIOR TO PLANTING PER THE ROOT BALL CORRECTION DETAILS.

SHRUB

N.T.S.

PROJECT INFORMATION

Project Number: 15925.00
Client Name: KEARNEY REALTY & DEVELOPMENT GROUP, INC
Project Name: THE HAMLET AT RHINEBECK

Project Address: ASTOR DR, RHINEBECK, NY 12572
SIB Number: N/A

REVISION SCHEDULE

No.	Date	Description
1	05/24/2022	PER TOWN BOARD COMMENTS
2	06/10/2022	PER BOARD COMMENTS

FOR REVIEW ONLY
NOT FOR PERMIT OR
CONSTRUCTION

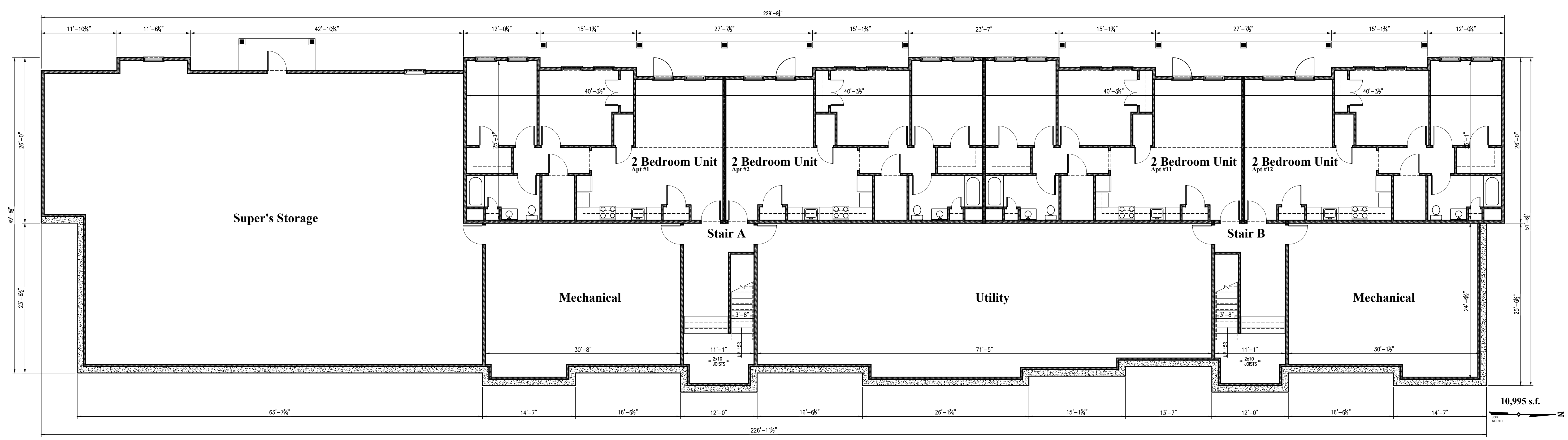
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO SEAL OR SIGN ANY DRAWING OR INSTRUMENT BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR OR ALTERED, THE ALTERING PARTY SHALL AFFIX TO THE DRAWING OR INSTRUMENT THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SHEET INFORMATION

Issued: 3/9/2022 Scale: as noted
Project Status: DESIGN
Drawn By: RHW Checked By: AL
Drawing Title: Landscape Details

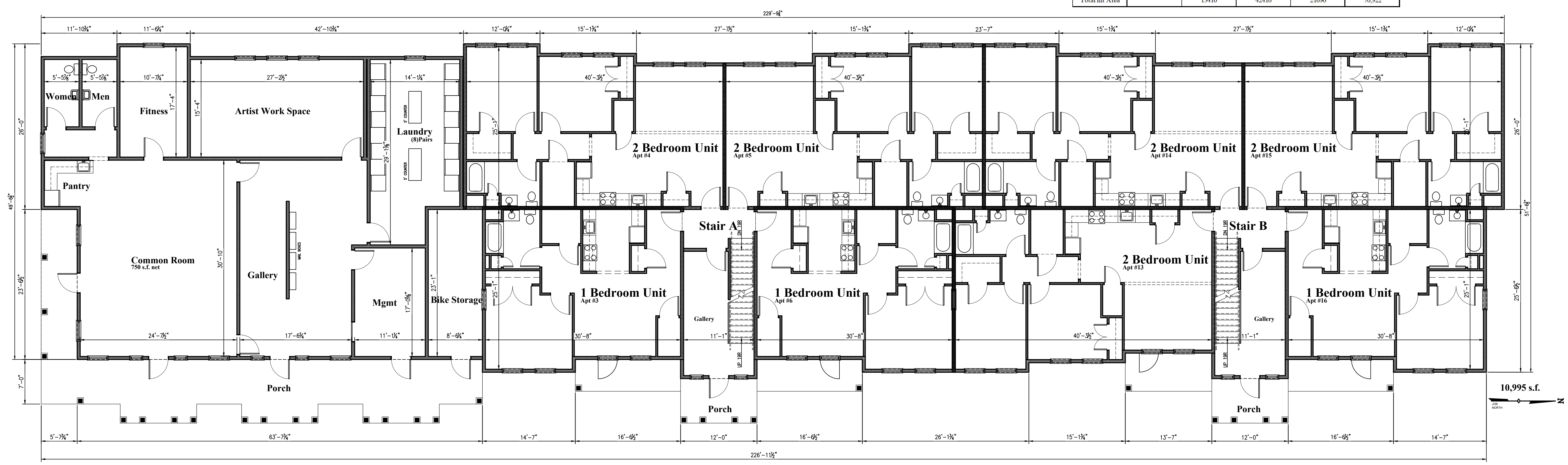
Drawing Number: Revision Number:

REVISIONS
DATE
5/19/22
PROJECT NUMBER
21-16
SHEET NUMBER
A1



1 Building #1 Lower Level Plan
 A1 Scale: 1/8"=1'-0"

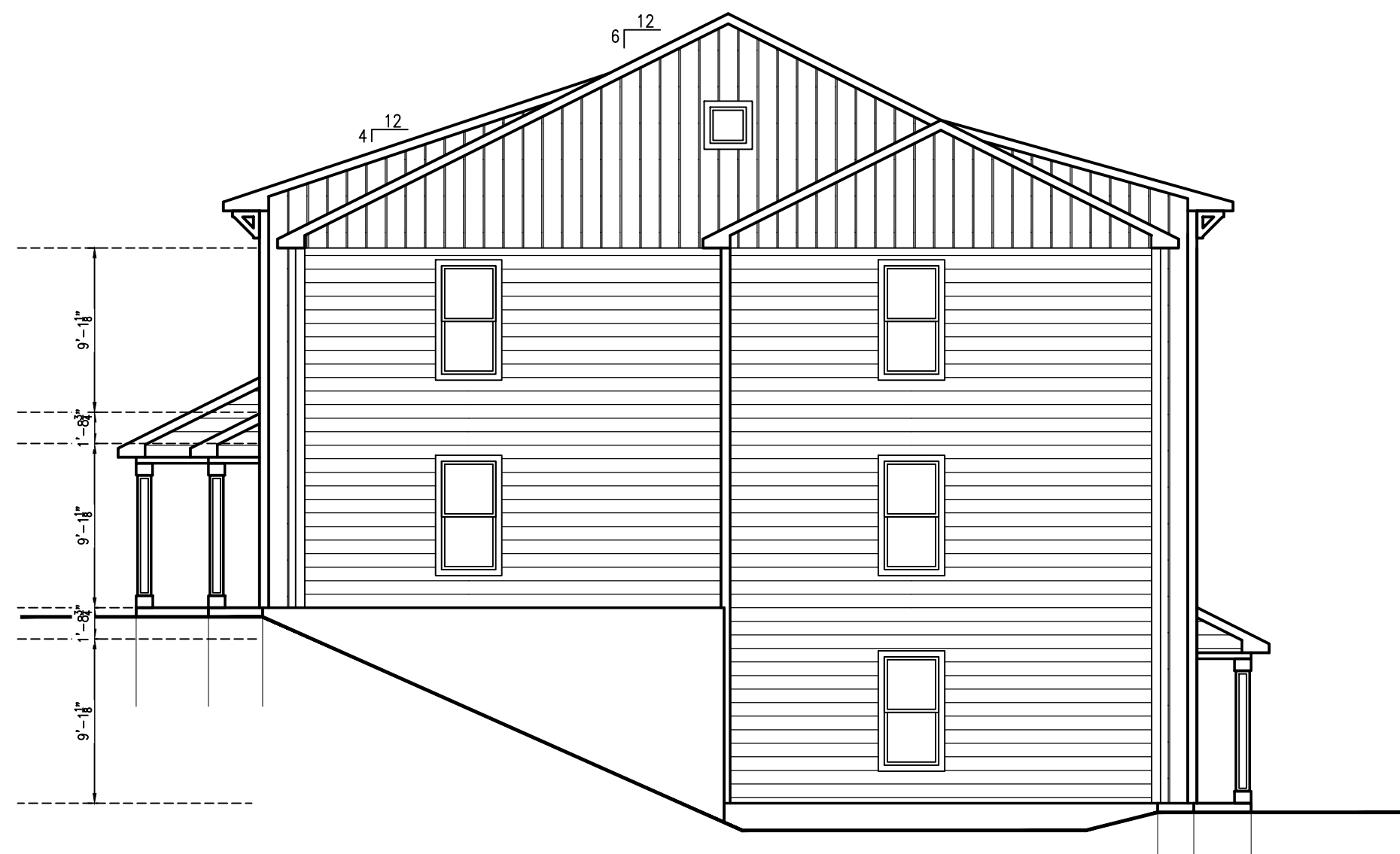
Building #	1 Br Apartment	2 Br Apartment	3 Br Apartment	Totals
	745 s.f. int	964 s.f. int	1172 s.f. int	
1	6	14	0	20
2	4	10	6	20
3	4	10	6	20
4	4	10	6	20
TOTALS	18	44	18	80
Total Int Area	13410	42416	21096	76,922



2 Building #1 First Floor Plan
 A1 Scale: 1/8"=1'-0"

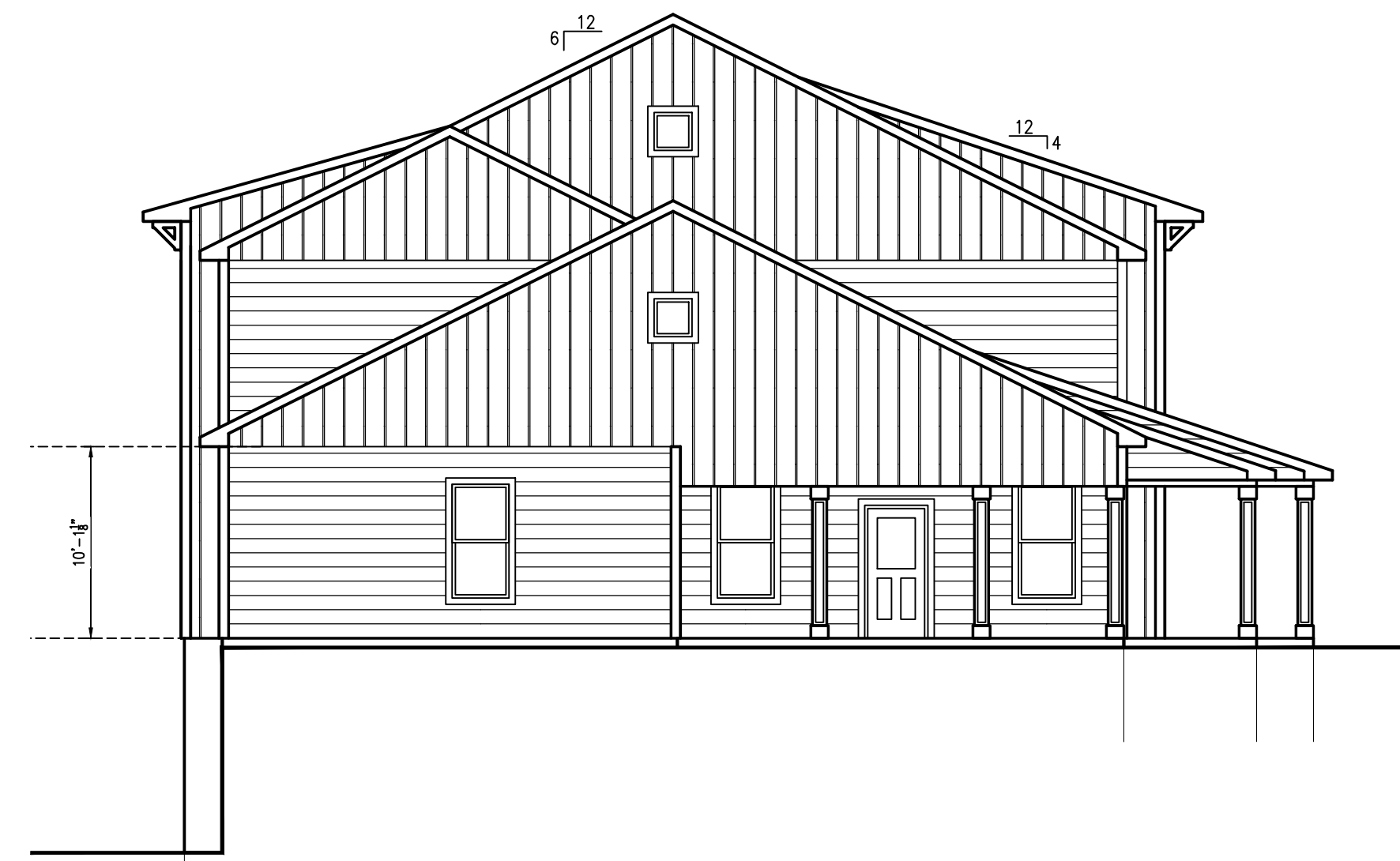


1 Building 1 West (Rear) Elevation
A2 Scale: 1/8"=1'-0"



2 Building 1 North Elevation
A2 Scale: 1/8"=1'-0"

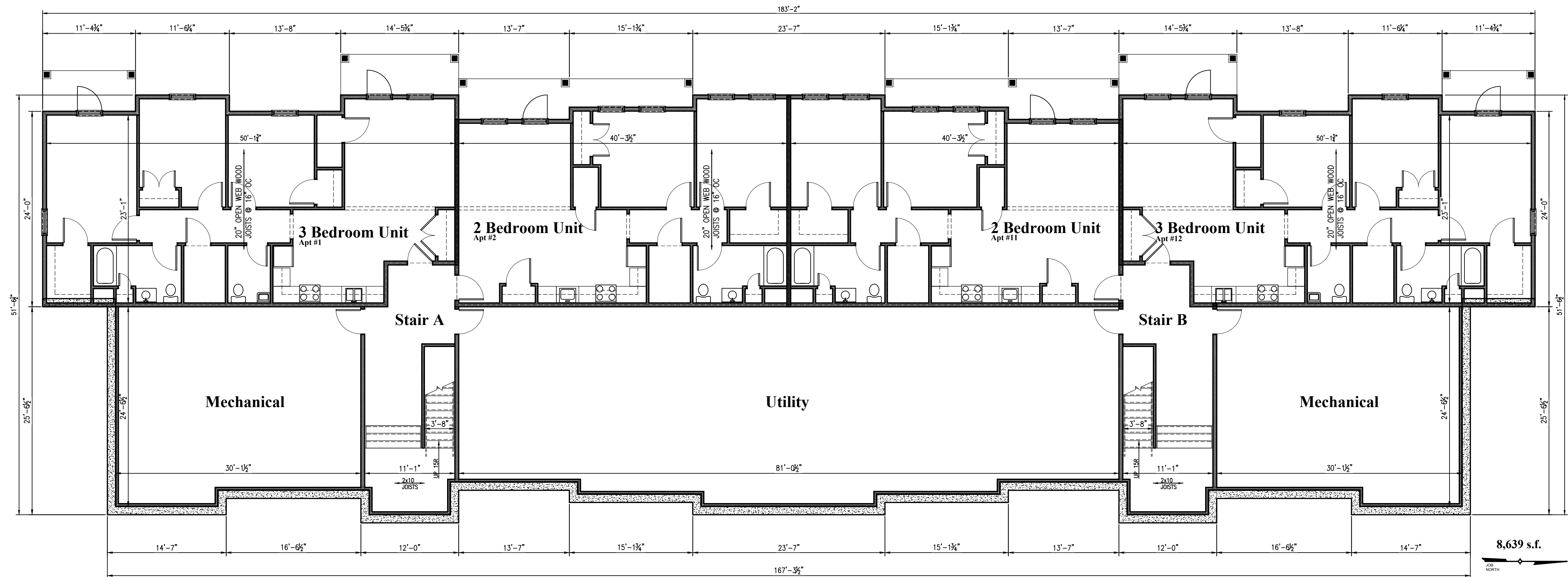
Typical Exterior Finishes:
 Fibercement Siding- Hardie Navajo Beige
 Fibercement Board & Batten- Hardie Woodstock Brown
 Fiberglass Shingles- GAF Weathered Wood
 Trim Boards, Soffits- White
 Aluminum Accent Roofing- Woodstock Brown
 Energy Star Windows- White



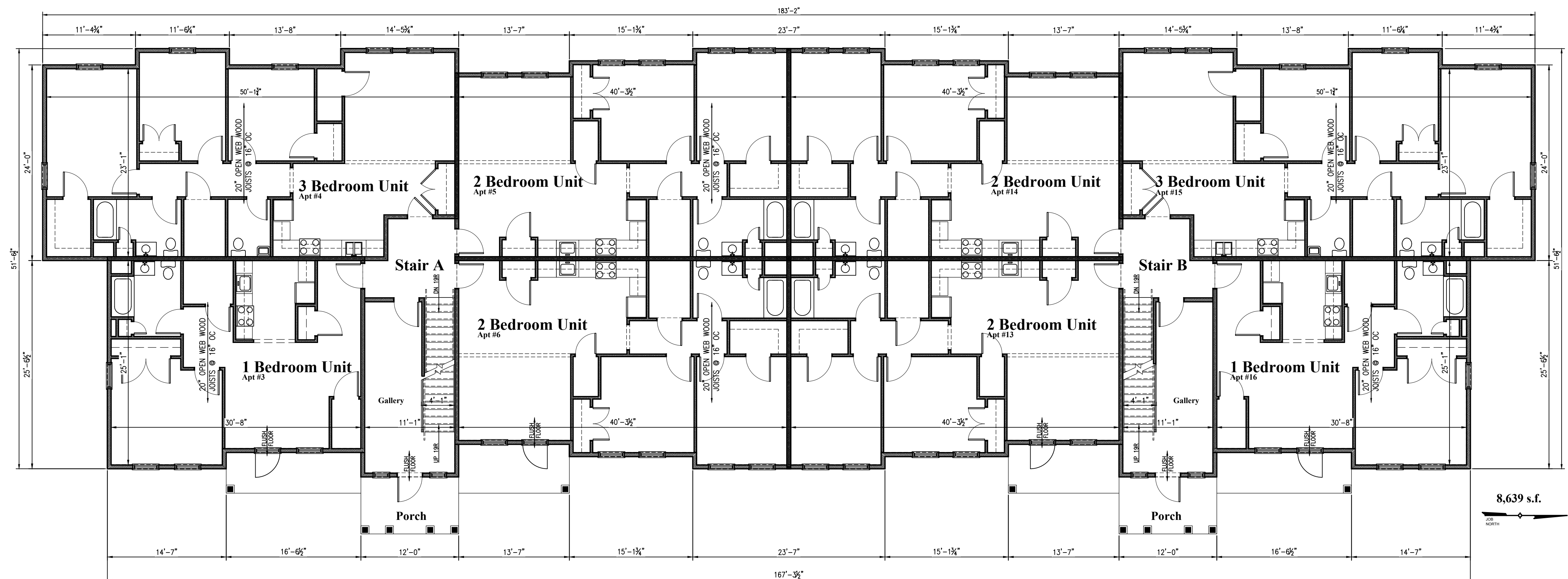
3 Building 1 South Elevation
A2 Scale: 1/8"=1'-0"



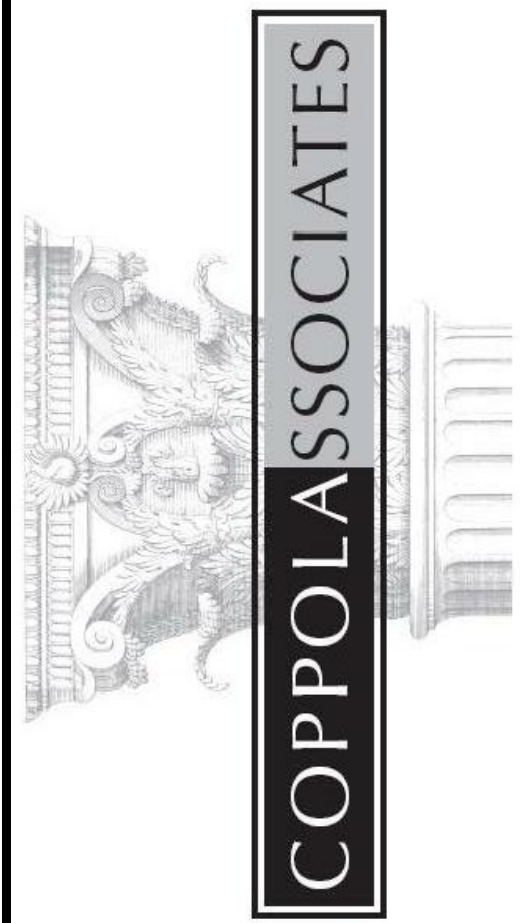
4 Building 1 East (Front) Elevation
A2 Scale: 1/8"=1'-0"



1 Buildings 2,3,4 Lower Level Plan
A3 Scale: 1/8"=1'-0"



2 Buildings 2,3,4 First Floor Plan
A3 Scale: 1/8"=1'-0"



Design, Architecture & Planning

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 Suite 101
 Newburgh, NY 12550
 TEL: 845-561-3559
 FAX: 845-561-2051
 ajcoppola@coppola-associates.com

LICENSE NUMBER: 018849

PROPOSED MULTIFAMILY DWELLINGS FOR

The Hamlet at Rhinebeck

Town of Rhinebeck, NY

Buildings 2,3,4 Floor Plans

REVISIONS

DATE

5/19/22

PROJECT NUMBER

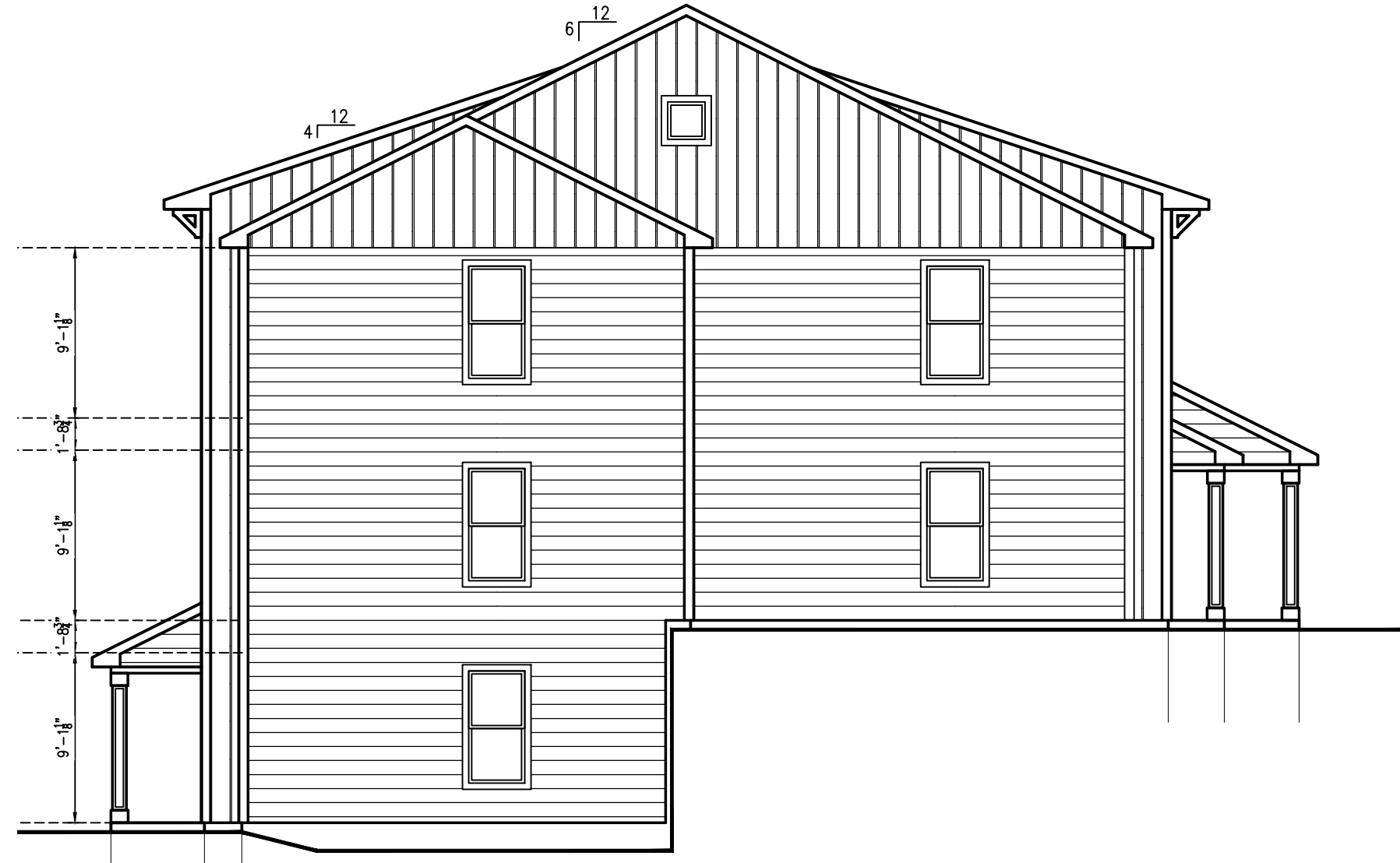
21-16

SHEET NUMBER

A3

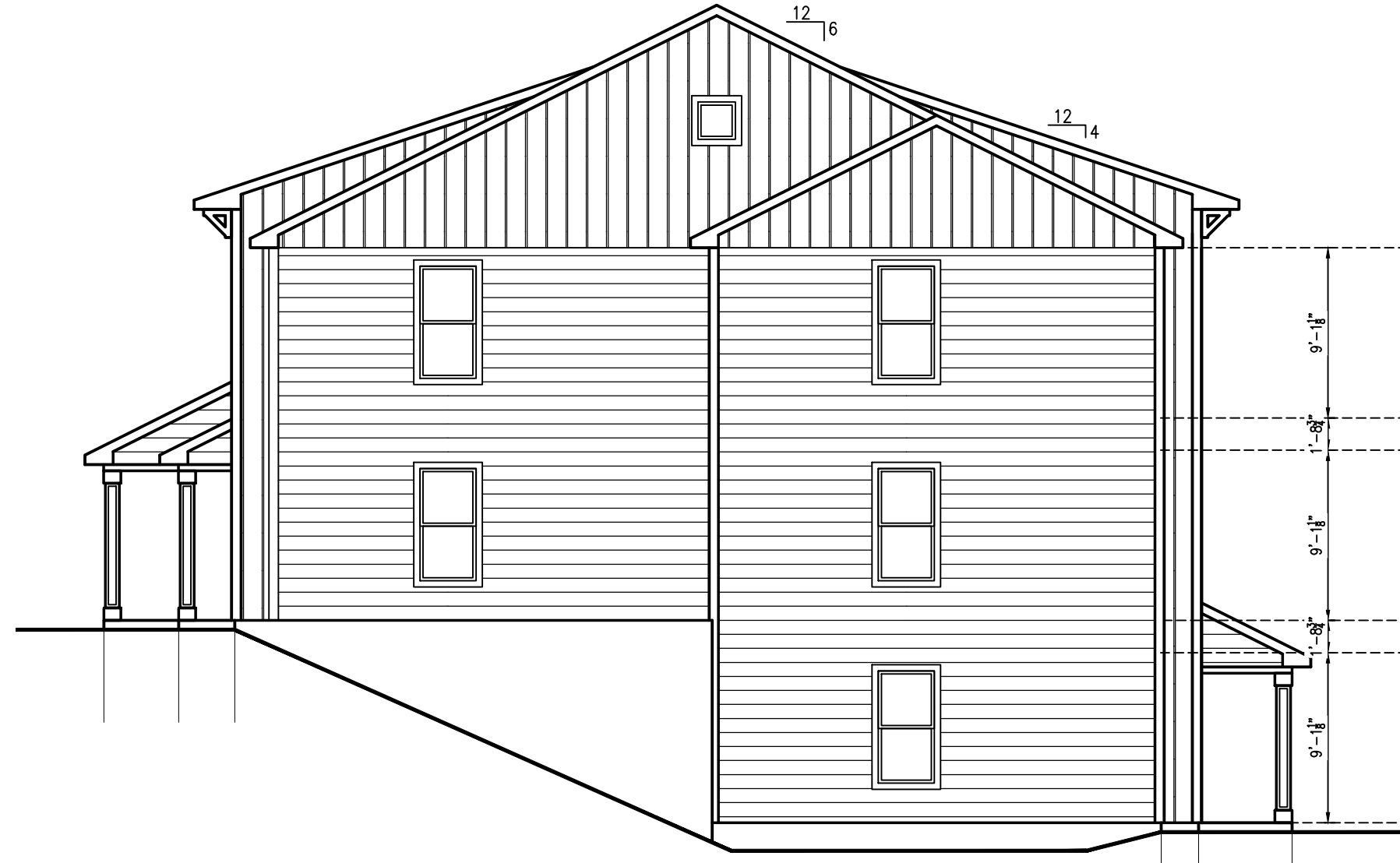


1 Building 2,3,4 West (Rear) Elevation
A4 Scale: 1/8"=1'-0"



2 Buildings 2,3,4 Side Elevation
A4 Scale: 1/8"=1'-0"

Typical Exterior Finishes:
 Fibercement Siding- Hardie Navajo Beige
 Fibercement Board & Batten- Hardie Woodstock Brown
 Fiberglass Shingles- GAF Weathered Wood
 Trim Boards, Soffits- White
 Aluminum Accent Roofing- Woodstock Brown
 Energy Star Windows- White



3 Buildings 2,3,4 Side Elevation
A4 Scale: 1/8"=1'-0"



4 Building 2,3,4 East (Front) Elevation
A4 Scale: 1/8"=1'-0"

REVISIONS
DATE
5/19/22
PROJECT NUMBER
21-16
SHEET NUMBER