

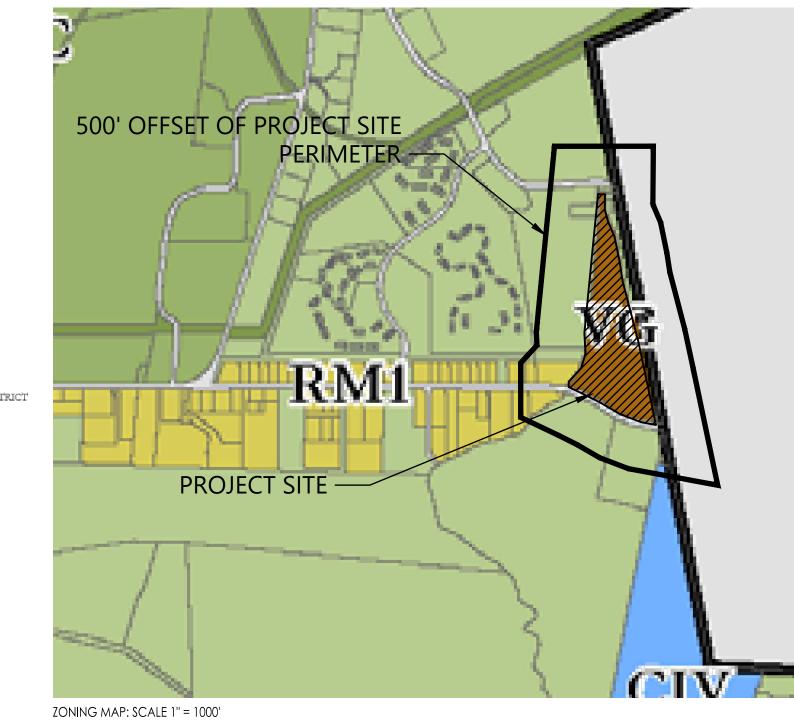
# THE HAMLET AT RHINEBECK

# KEARNEY REALTY GROUP, INC & HOUSING PARTNERSHIP DEVELOPMENT CORPORATION

# Drawing List: Engineer / Architect:

C001 - Title Sheet	
C002 - Notes	
C100 - Existing Conditions	
C101 - Environmental Analysis Map	CPL
C200 - Overall Site Plan	
C201 - Enlarged Site Plan	
C300 - Overall Grading Plan	CPL (NOT INCLUDED)
C301 - Enlarged Grading Plan	
C302 - Site Distance Plan and Profiles	
C400 - Overall Utility Plan	· · · · · · · · · · · · · · · · · · ·
C401 - Enlarged Utility Plan - 1	
C402 - Enlarged Utility Plan - 2	
C500 - Site Details - 1	
C501 - Site Details - 2	
C502 - Site Details - 3	
C510 - Water Details	
C520 - Sewer Details	
C530 - Stormwater Details - 1	
C531 - Stormwater Details - 2	
C540 - ESC Details - 1	
C541 - ESC Details - 2	
L500 - Planting Plan Overall	CPL
L501 - Planting Plan 1	
L502 - Planting Plan 2	
L503 - Planting Plan 3 L504 - Planting Plan 4	
L601 - Landscape Details	
A1 - Building #1 - Floor Plans	
A2 - Building #1 - Elevations	
A3 - Building #2, #3, #4 - Floor Plans	Coppola Associates
A4 - Building #2, #3, #4 - Elevations	

**ASTOR DRIVE** RHINEBECK, NY 03/09/2022 **REVISED 06/15/2022** 



Legend

MUNICIPAL BOUNDARIES

RA10, RURAL AGRICULTURAL

RC-HT, RHINECLIFF TRANSITION HAMLET

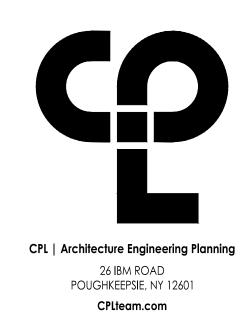
RL5, RESIDENTIAL LOW DENSITY

RM1, RESIDENTIAL MEDIUM DENSITY

BP, BUSINESS PARK

ZONING MAP NOTES:

PARCEL # (AC): 135089-6170-00-223336 (23.3 AC) PARCEL IS LOCATED IN RHINEBECK CENTRAL SCHOOL DISTRICT.



PRO IFCT	INFORMATION	

15925.00

**KEARNEY REALTY & DEVELOPMENT** GROUP, INC

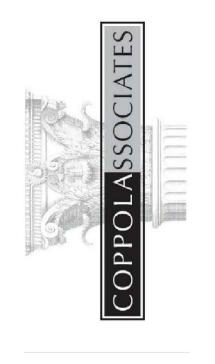
THE HAMLET AT RHINEBCK

Project Address ASTOR DR RHINEBECK, NY 12572

SED Number

REVISION SCHEDULE





ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT. SURVEYOR IS ALTERED, THE ALTERING PARTY SHALL AFFIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

### SHEET INFORMATION

3/9/2022 **AS NOTED** Project Status DESIGN Drawn By

KRS Drawing Title TITLE SHEET

HAR C001 THE CONTRACTOR SHALL CONTACT U.F.P.O. PRIOR TO COMMENCING CONSTRUCTION; 1-800-962-7962.

THE INFORMATION PROVIDED IN THESE PLANS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY MAY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH THEIR BIDS WILL BE BASED.

THE CONTRACTORS' ATTENTION IS CALLED TO THE FACT THAT THERE MAY BE SOME UTILITY CONFLICTS. IT SHALL BE THE CONTRACTORS' RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT.

THE CONTRACTOR SHALL PROTECT ALL PROPERTY LINE MONUMENTATION. ANY MONUMENT DISTURBED OR DESTROYED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE BY A NEW YORK STATE LICENSED LAND SURVEYOR.

THE CONTRACTOR SHALL MAINTAIN, AT ALL TIMES, FULL ACCESS TO ALL ROADWAYS, DRIVEWAYS AND PARKING

AREAS THROUGHOUT THE SITE AREA. THE CONTRACTOR SHALL NOT STOCKPILE OR STORE ANY MATERIALS ON ANY PUBLIC PROPERTY. ANY MATERIALS

STOCKPILED OR STORED ON ANY PRIVATE PROPERTIES SHALL BE DONE ONLY WITH THE LANDOWNER'S PERMISSION. THE CONTRACTOR SHALL PROVIDE BARRICADES, INCLUDING TEMPORARY FENCING TO

PREVENT UNAUTHORIZED ENTRY TO CONSTRUCTION AREA AND TO PROTECT EXISTING AND NEW FACILITIES FROM DAMAGE BY CONSTRUCTION OPERATIONS OR VANDALISM.

ALL EXCAVATIONS SHALL BE BACKFILLED TO FINISHED GRADE OR ADEQUATELY BARRICADED AT THE END OF EACH WORKDAY.

THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS, INCLUDING LAWNS, DRIVES CULVERTS, FENCES, SIGNS AND OTHER PUBLIC OR PRIVATE PROPERTY TO IT'S PRE-CONSTRUCTION CONDITION UNLESS OTHERWISE REQUIRED BY THESE

13. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROLS AS SHOWN ON THESE PLANS AND THE APPROVED STORMWATER POLLUTION PREVENTION PLAN THAT IS AN INTEGRAL PART OF THIS PROJECT. SILT FENCES AND HAYBALES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED THROUGHOUT THE PERIOD OF DISTURBANCE. REQUIRED LOCATIONS FOR SILT FENCES AND HAYBALES ARE SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN.

EROSION CONTROL MEASURES SHALL BE REMOVED AND THE DISTURBED AREAS RESTORED TO THEIR PRE-CONSTRUCTION CONDITION WHEN SUCH MEASURES ARE NO LONGER REQUIRED.

15. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF DRAINAGE STRUCTURES TO THE DESIGN ENGINEER FOR APPROVAL PRIOR TO FABRICATION.

EXCAVATED MATERIALS RETAINED AND UTILIZED ON SITE WILL BE EVALUATED FOR THE ADEQUACY OF THEIR INTENDED USE ON-SITE. ALL IMPORTED MATERIALS WILL BE EVALUATED FOR ENVIRONMENTAL CLEANLINESS AND THE ADEQUACY OF THEIR INTENDED USE.

### **SOIL EROSION AND SEDIMENT CONTROL NOTES**

 ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK GUIDELINES FOR EROSION AND SEDIMENT CONTROL (2005), AS PUBLISHED BY THE NEW YORK STATE SOIL AND WATER CONSERVATION SOCIETY AND RECOMMENDED BY THE U.S. DEPARTMENT OF AGRICULTURE -SOIL CONSERVATION SERVICE. (REFERRED TO IN REMAINING TEXT AS "THE NEW YORK GUIDELINES".

IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN FOURTEEN (14) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. THE SEEDING SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK GUIDELINES. AS FOLLOWS:

A) SEED: ANNUAL RYE GRASS APPLIED AT A RATE OF 30 LBS./ACRE OTHER SELECT MIXTURE AS DESCRIBED IN THE NEW YORK GUIDELINES. IF: SPRING, SUMMER OR EARLY FALL SEED WITH RYE GRASS (ANNUAL OR PERENNIAL) AT 30 LBS. PER ACRE.

LATE FALL OR EARLY WINTER SEED WITH CERTIFIED "ARUOSTOOK" WINTER RYE, AT 100 LBS. (CEREAL RYE) PER MULCH: OLD HAY OR SMALL GRAIN STRAW APPLIED AT A RATE OF NINETY (90) POUNDS PER ONE THOUSAND SQUARE FT. OR TWO TONS PER ACRE. TO BE APPLIED AND ANCHORED ACCORDING

TO THE NEW YORK GUIDELINES. WOODFIBER HYDROMULEN OR OTHER SPRAYABLE PRODUCTS APPROVED FOR EROSION CONTROL (NYLON WEB OR MESH) MAY BE USED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. C) IN AREAS OF SLOPES STEEPER THAN ONE ON TWO, JUTE MATTING SHALL BE USED TO STABILIZE

SEEDED AND/OR PLANTED AREAS. JUTE MATTING SHALL BE INSTALLED AND ANCHORED IN ACCORDANCE WITH THE NEW YORK GUIDELINES

3. ANY GRADED AREAS NOT SUBJECT TO FURTHER DISTURBANCE OR CONSTRUCTION TRAFFIC SHALL, WITHIN FIVE (5) DAYS AFTER FINAL GRADING, RECEIVE PERMANENT VEGETATIVE COVER IN COMBINATION WITH A SUITABLE

A) STEEP OR EROSION SLOPES GREATER THAN 2:1 (H:V) REFER TO SLOPE PROTECTION DETAIL. RECREATIONAL AREAS AND LAWN REFER TO RECREATIONAL AREA IMPROVEMENT NOTES:

4. SLOPES STEEPER THAN ONE ON THREE SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.

5. PAVED ROADWAYS SHALL BE KEPT CLEAR AT ALL TIMES.

6. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAIN SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION OR SEDIMENT CONTROL FACILITIES. EXCEPT FOR MINOR PERIMETER EMBANKMENT AREAS, ALL GRADE AREA SHALL BE DIRECTED THROUGH ONE OF THE SEDIMENTS BARRIERS. DIVERSION SWALES MAY BE USED TO DIRECT DRAINAGE RUNOFF UNTIL PERMANENT STORM DRAINAGE SYSTEM IS IN PLACE.

7. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS.

8. STOCKPILES SHALL NOT BE LOCATED WITHIN FIFTY FEET (50') OF ROADWAYS OR DRAINAGE FACILITIES. THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A SILT FENCE, HAY BALES BARRIER OR COMBINATION OF

SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAIN BY THE CONTRACTOR ON A DAILY BASIS TO ENSURE THAT TEMPORARY AND PERMANENT DITCHES, PIPES AND STRUCTURES ARE CLEAR OF DEBRIS, THAT EMBANKMENTS AND BERMS ARE NOT BREACHED, AND THAT ALL

BARRIERS ARE INTACT. 10. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE SITE WORK BY THE OWNER. UPON CERTIFICATION OF FINAL ACCEPTANCE, THE OWNER WILL ASSUME RESPONSIBILITY FOR THE CONTINUED MAINTENANCE OR

PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. 11. ALL DRAINAGE OUTLETS AND INLETS SHALL BE LINED WITH STONE RIP-RIP AS SPECIFIED ON THE PLANS

12. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES.

### **DUTCHESS COUNTY HEALTH DEPARTMENT NOTES**

THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

"STANDARDS FOR WASTE TREATMENT WORKS, INSTITUTIONAL AND COMMERCIAL SEWERAGE FACILITIES" "RECOMMENDED STANDARDS FOR SEWAGE TREATMENT WORKS, (TEN STATES)" "NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY DEPARTMENT OF HEALTH POLICIES, PROCEDURES AND STANDARDS" "DUTCHESS COUNTY DEPARTMENT OF HEALTH SANITARY CODE, ARTICLE XI AND ARTICLE XIX"

"DUTCHESS COUNTY DEPARTMENT OF HEALTH CERTIFICATE OF APPROVAL LETTER" THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER

SUPPLY FACILITIES UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED AND CERTIFIED COMPLETE TO THE DUTCHESS COUNTY HEALTH DEPARTMENT BY THE NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE

PLACED INTO SERVICE UNTIL ACCEPTED BY THE DUTCHESS COUNTY HEALTH DEPARTMENT.

APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF FIVE YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL, THE PLANS SHALL BE RESUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL, RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.

THE PROPOSED WASTEWATER TREATMENT FACILITY IS DESIGNED FOR SANITARY SEWAGE ONLY, NO INDUSTRIAL WASTES SHALL BE DISCHARGED TO THE FACILITY. NO FOOTING, ROOF DRAIN OR OTHER DRAINAGE LINES WILL BE CONNECTED TO THE SANITARY SEWAGE SYSTEM.

THE DUTCHESS COUNTY HEALTH DEPARTMENT SHALL BE CONTACTED PRIOR TO CONSTRUCTION COMMENCEMENT SO THAT AN INSPECTION MAY BE CONDUCTED.

### STANDARD NOTES FOR WATER SYSTEMS

THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

"RECOMMENDED STANDARDS FOR WATER WORKS (TEN STATES)" "RURAL WATER SUPPLY NEW YORK STATE DEPARTMENT OF HEALTH"

"NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY DEPARTMENT OF HEALTH POLICIES, PROCEDURES AND STANDARDS" "DUTCHESS COUNTY DEPARTMENT OF HEALTH CERTIFICATE OF APPROVAL LETTER"

"DUTCHESS COUNTY SANITARY CODE ARTICLE V" THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR

ARRANGEMENT OF WATER DISTRIBUTION FACILITIES. UPON COMPLETION OF THE FACILITIES. THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE TO THE DUTCHESS COUNTY HEALTH DEPARTMENT BY NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SUPERVISING CONSTRUCTION. NO PART OF THE

APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF FIVE (5) YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL THE PLAN(S) SHALL BE RESUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL. RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECTED TO COMPLIANCE WITH TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.

### WATERLINE SPECIFICATIONS

### PIPE AND PIPE FITTINGS, GENERAL

A. DUCTILE IRON PIPE 3 INCHES AND LARGER: AWWA C151, CLASS 52. PUSH ON JOINTS SHALL BE USED TO JOIN PIPE SECTIONS.

FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE DUTCHESS COUNTY HEALTH DEPARTMENT.

1. LINING: AWWA C104, CEMENT MORTAR, SEAL COATED.

2. GASKETS: AWWA C111, RUBBER.

B. D.I.P. FITTING: AWWA C153 DUCTILE IRON, 200 PSI PRESSURE RATING, MECHANICAL JOINTS

LINING: AWWA C104, CEMENT MORTAR.

GASKETS: AWWA C111, RUBBER.

A. NON-RISING STEM GATE VALVES, 3 INCHES AND LARGER: AWWA C500, CAST-IRON DOUBLE DISC, BRONZE DISC AND SEAT RINGS. OR AWWA C509, RESILIENT SEATED; CAST-IRON OR DUCTILE-IRON BODY AND BONNET, OS&Y, BRONZE STEM, 200-PSI WORKING PRESSURE, FLANGED ENDS. AS MANUFACTURED BY MUELLER OR EQUAL.

GATE VALVES ARE TO BE RIGHT OPEN.

B. VALVE BOXES: CAST-IRON BOX HAVING TOP SECTION AND COVER WITH LETTERING "WATER" BOTTOM SECTION WITH BASE OF SIZE TO, FIT OVER VALVE AND BARREL APPROXIMATELY 5 INCHES IN DIAMETER, AND ADJUSTABLE CAST-IRON EXTENSION OF LENGTH REQUIRED FOR DEPTH OF BURY OF VALVE.

C. CURB STOPS: BRONZE BODY, GROUND KEY PLUG OR BALL, AND WIDE TEE HEAD, WITH INLET AND OUTLET TO MATCH SERVICE PIPING

D. SERVICE BOXES FOR CURB STOPS: CAST-IRON BOX HAVING TELESCOPING TOP SECTION OF LENGTH REQUIRED FOR DEPTH OF BURY OF VALVE AND COVER HAVING LETTERING "WATER" AND BOTTOM SECTION WITH BASE OF SIZE TO FIT OVER CURB STOP AND BARREL

E. TAPPING SLEEVE AND TAPPING VALVE: PROVIDE A COMPLETE ASSEMBLY, INCLUDING TAPPING SLEEVE, TAPPING VALVE, AND BOLTS AND NUTS. THE SLEEVE AND THE VALVE SHALL BE COMPATIBLE WITH THE TAPPING MACHINE TO BE USED.

TAPPING SLEEVE: CAST-IRON OR DUCTILE-IRON 2 PIECE BOLTED SLEEVE WITH FLANGED OUTLET FOR NEW BRANCH CONNECTION. SLEEVE MAY HAVE MECHANICAL JOINT ENDS WITH RUBBER GASKETS OR HAVE SEALING RINGS IN THE SLEEVE BODY. SLEEVE SHALL MATE WITH THE SIZE AND TYPE PIPE MATERIAL BEING TAPPED. OUTLET FLANGE SHALL BE SIZE REQUIRED FOR BRANCH CONNECTION.

A. ALL HYDRANTS SHALL BE B-62-B, INCLUDING (2) 2-1/2" NOZZLES AND (1) 4" NOZZLE.

A. PROVIDE JOINT RESTRAINTS FOR ALL VERTICAL AND HORIZONTAL BENDS CONFORMING TO MEGALUG SERIES 1100 MECHANICAL JOINT RESTRAINT AS MANUFACTURED BY EBAA IRON SALES INC., EASTLAND, TEXAS.

A. BEDDING: SEE TRENCHING DETAILS SHOWN ON THE CONTRACT DRAWINGS.

A PLASTIC LINDERGROUND WARNING TAPES. POLYETHYLENE PLASTIC TAPE 6 INCHES WIDE BY 4 MILS THICK SOUD. BLUE IN COLOR WITH CONTINUOUSLY PRINTED CAPTION IN BLACK LETTERS CAUTION WATER LINE BURIED BELOW

PREPARATION OF BURIED PIPE FOUNDATION

A. GRADE TRENCH BOTTOM TO PROVIDE A SMOOTH, FIRM, STABLE, AND ROCK-FREE FOUNDATION THROUGHOUT THE LENGTH OF THE PIPING.

B. REMOVE UNSTABLE, SOFT, AND UNSUITABLE MATERIALS AT THE SURFACE UPON WHICH PIPES ARE TO BE LAID AND BACKFILL WITH CLEAN SAND OR PEA GRAVEL TO INDICATED LEVEL. BEFORE REMOVAL AND REPLACEMENT OF UNSUITABLE MATERIAL, OBTAIN OWNERS

C. SHAPE BOTTOM OF TRENCH TO FIT BOTTOM OF PIPING. FILL UNEVENNESS WITH TAMPED SAND BACKFILL. DIG BELL HOLES AT EACH PIPE JOINT TO RELIEVE THE BELLS OF ALL LOADS AND TO ENSURE CONTINUOUS BEARING OF THE PIPE BARREL ON THE FOUNDATION.

A. DUCTILE-IRON PIPE: INSTALL WITH CEMENT-MORTAR-LINED, DUCTILE-IRON WITH MECHANICAL JOINT FITTINGS IN ACCORDANCE WITH AWWA C600. INSTALL JOINT RESTRAINTS, AS REQUIRED. BACKFILL PER THE REQUIREMENTS OF THE TRENCHING DETAILS ON THE CONTRACT DRAWINGS.

B. DEPTH OF COVER: PROVIDE MINIMUM COVER OVER PIPING OF 12 INCHES BELOW AVERAGE LOCAL FROST DEPTH OR 60 INCHES BELOW FINISHED GRADE, WHICHEVER IS

C. WATER MAIN CONNECTION: TAP WATER MAIN WITH SIZE AND IN LOCATION AS INDICATED, IN ACCORDANCE WITH REQUIREMENTS OF WATER UTILITY.

1. INSTALL TAPPING SLEEVE AND TAPPING VALVE IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. 2. INSTALL TAPPING SLEEVE ON PIPE TO BE TAPPED. POSITION FLANGED OUTLET FOR GATE VALVE.

3. INSTALL GATE VALVE ONTO TAPPING SLEEVE. COMPLY WITH AWWA C600. INSTALL VALVE WITH STEM POINTING UP AND WITH CAST-IRON VALVE BOX.

4. USE TAPPING MACHINE COMPATIBLE WITH VALVE AND TAPPING SLEEVE; CUT HOLE IN MAIN. REMOVE TAPPING MACHINE AND CONNECT WATER SERVICE PIPING.

A. GENERAL APPLICATION: USE MECHANICAL JOINT AND VALVES FOR 3 INCH AND LARGER BURIED INSTALLATION.

B. AWWA-TYPE GATE VALVES: COMPLY WITH AWWA C600. INSTALL BURIED VALVES WITH STEM POINTING UP AND WITH CAST-IRON VALVE BOX.

### A. INSTALL CONTINUOUS PLASTIC UNDERGROUND WARNING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND WATER SERVICE PIPING. LOCATE 6 TO 8 INCHES

BELOW FINISHED GRADE, DIRECTLY OVER PIPING.

A. PIPING TESTS: CONDUCT PIPING TESTS BEFORE JOINTS ARE COVERED AND AFTER THRUST BLOCKS HAVE SUFFICIENTLY HARDENED. FILL PIPELINE 24 HOURS PRIOR TO TESTING AND APPLY TEST PRESSURE TO STABILIZE SYSTEM. USE ONLY POTABLE WATER.

B. HYDROSTATIC TESTS: \*\*COORDINATE WATER MAIN PRESSURE TEST WITH CITY WATER DEPARTMENT\*\* TEST AT NOT LESS THAN 1-1/2 TIMES WORKING PRESSURE FOR 2 HOURS. TEST PROCEDURE SHALL BE IN ACCORDANCE WITH AWWA SPECIFICATION C-600-05: SECTION 4, LATEST REVISION. LEAKAGE TEST SHALL BE CONDUCTED CONCURRENTLY WITH THE PRESSURE TEST IN ACCORDANCE WITH AWWA SPECIFICATION C-600-05, LATEST REVISION. TESTING SHALL BE WITNESSED AND APPROVED BY NYS LICENSED

### <u>CLEANING</u>

A. CLEAN AND DISINFECT WATER

DISTRIBUTION PIPING AS FOLLOWS:

FORWARDED TO THE DUTCHESS COUNTY DEPARTMENT OF HEALTH.

PURGE ALL NEW WATER DISTRIBUTION PIPING SYSTEMS AND PARTS OF EXISTING SYSTEMS THAT HAVE BEEN ALTERED, EXTENDED, OR REPAIRED PRIOR TO USE. USE THE PURGING AND DISINFECTING PROCEDURE PRESCRIBED BY THE AUTHORITY HAVING JURISDICTION OR, IN CASE A METHOD IS NOT PRESCRIBED BY THAT AUTHORITY, USE THE PROCEDURE DESCRIBED IN AWWA C651.99, OR AS DESCRIBED BELOW:

A. FILL THE SYSTEM OR PART THEREOF WITH A WATER/CHLORINE SOLUTION CONTAINING AT LEAST 50 PARTS PER MILLION OF CHLORINE. ISOLATE (VALVE OFF) THE SYSTEM OR PART THEREOF AND ALLOW TO STAND FOR 24 HOURS.

B. DRAIN THE SYSTEM OR PART THEREOF OF THE PREVIOUS SOLUTION AND REFILL WITH A WATER/CHLORINE SOLUTION CONTAINING AT LEAST 200 PARTS PER MILLION OF CHLORINE AND ISOLATE AND ALLOW TO STAND FOR 3 HOURS.

C. FOLLOWING THE ALLOWED STANDING TIME, FLUSH THE SYSTEM WITH CLEAN, POTABLE WATER UNTIL CHLORINE DOES NOT REMAIN IN THE WATER COMING FROM THE SYSTEM.

D. PERFORM A MINIMUM OF TWO (2) WATER COLIFORM SAMPLES. THE LABORATORY MUST BE CERTIFIED BY THE NEW YORK STATE HEALTH DEPARTMENT. TEST RESULTS MUST BE

### SEWER LINE SPECIFICATIONS

PROPOSED SEWER LINE IS SDR-35 PVC AS DEFINED BY ANSI/ASTM D3034. INSIDE NOMINAL Ø OF 8 INCHES, PUSH ON JOINT WITH INTEGRAL BELL AND SPIGOT WITH GASKETS. PROVIDE MINIMUM 18 INCHES VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER LINES AND DRAINAGE LINES.

PRECAST CONCRETE MANHOLES SHALL CONFORM WITH ASTM C478, PRECAST REINFORCED CONCRETE, OF DEPTH INDICATED ON PLANS WITH PROVISIONS FOR RUBBER GASKET JOINTS IN CONFORMANCE WITH ASTM C443. PIPE CONNECTORS SHALL CONFORM WITH ASTM C923.

PIPE SHALL BE INSTALLED AS INDICATED ON PLANS; WITH MAXIMUM VARIATION FROM TRUE SLOPE OF \$\frac{1}{8} INCH

CONTRACTOR SHALL REQUEST THE INSPECTION OF THE SANITARY SEWER BY THE DESIGN ENGINEER PRIOR TO AND IMMEDIATELY AFTER PLACING BEDDING. UPON THE COMPLETION THE SEWER SYSTEM, CONTRACTOR SHALL PERFORM A DEFLECTION TEST IN ACCORDANCE WITH ASTM D-2122, STANDARD TEST METHOD OF DETERMINING DIMENSIONS OF THE THERMOPLASTIC PIPE AND FITTINGS AND 10 STATES STANDARDS. IF DEFLECTION EXCEEDS 5%. REPLACEMENT OR CORRECTION SHALL BE ACCOMPLISHED PER THE DISCRETION OF THE DESIGN ENGINEER. CONTRACTOR SHALL PERFORM A LOW PRESSURE AIR TEST AS DESCRIBED IN ASTM C-828-86. CONTRACTOR SHALL PERFORM NEGATIVE AIR PRESSURE TEST IN ACCORDANCE WITH ASTM C-1244-93 ON EACH SANITARY MANHOLE, HOWEVER, THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF ATTACHMENT B OF NYSDEC TIP NO. 15, ALTERNATIVE METHODS FOR SEWER AND MANHOLE LEAKAGE TESTING, FOR MINIMUM TEST TIMES. THE CONTRACTOR MAY SUBSTITUTE THE NEGATIVE AIR TEST ON EACH MANHOLE WITH A WATER TEST AS DIRECTED BY THE DESIGN ENGINEER. CONTRACTOR Shall also perform an infiltration test and demonstrate that the collection system installed DOES NOT EXCEED THE MAXIMUM ALLOWABLE LEAKAGE RATE OF 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE OF PIPE PER DAY. ALL TESTS SHALL BE WITNESSED BY THE DESIGN ENGINEER.

THIS RESIDENTIAL DEVELOPMENT IS LOCATED WITHIN 500 FEET OF AN AGRICULTURAL DISTRICT THAT MAY HAVE ACTIVE FARMING OPERATIONS IN THE VICINITY. BE ADVISED OF THE FOLLOWING:

(A) FARMING IS ENCOURAGED IN THE TOWN OF RHINEBECK AND IS A DEFINING CHARACTERISTIC OF THE TOWN'S RURAL LANDSCAPE. FARMING IS A PREFERRED LAND USE IN THE TOWN BECAUSE A VIABLE AGRICULTURAL ECONOMY CONTRIBUTES TO STABLE PROPERTY TAXES AND LOCAL EMPLOYMENT, SUPPORTS THE LIVELIHOOD OF LOCAL FAMILIES, PROVIDES ESSENTIAL LOCALLY GROWN FOOD PRODUCTS, AND HELPS TO PRESERVE SCENIC ROADS, WORKING LANDSCAPES AND HISTORIC SITES.

(B) FARMING DOES NOT ONLY OCCUR BETWEEN 8:00 A.M. AND 5:00 P.M. AND IS DEPENDENT ON MOTHER NATURE. RESIDENTS SHOULD BE AWARE OF NOISE FROM AGRICULTURAL MACHINERY BEING OPERATED IN NEARBY FIELDS IN BOTH EARLY MORNING AND EVENING HOURS. AND NOISE FROM CROP DRYING FANS WHICH MAY OPERATE 24 HOURS OF THE DAY DURING THE HARVEST SEASON.

(C) ROADS LEADING TO AND FROM THE RESIDENTIAL DEVELOPMENT ARE FREQUENTLY TRAVELED BY FARMERS AND THEIR SLOW-MOVING VEHICLES AND EQUIPMENT.

(D) FARMER NEIGHBORS VERY OFTEN SPRAY THEIR CROPS WITH PESTICIDES IN ACCORDANCE WITH ACCEPTED PRACTICES OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

(E) EXISTING FARMING OPERATIONS MAY CREATE BOTH UNAVOIDABLE ODORS AND UNSIGHTLINESS,

(F) THERE ARE DANGERS IN LETTING CHILDREN AND PETS ROAM INTO ANY ADJACENT AGRICULTURAL FIELDS, WHICH IS PRIVATE PROPERTY

(G) RESIDENCES FOR SEASONAL FARM LABORERS ARE AN ACCESSORY USE TO FARMING ACTIVITIES IN AGRICULTURAL DISTRICTS.

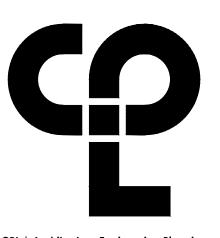
(H) BE ADVISED OF THE NUISANCE OF BLOWING DUST CAUSED BY HIGH WINDS.

THE PRIMARY ACTIVITY IS FARMING.

COMMONLY ASSOCIATED WITH FARMING OPERATIONS IN THE AREA.

(I) NO BUILDING PERMIT FOR A NEW RESIDENCE SHALL BE ISSUED AND NO LOT SOLD OR CONVEYED UNLESS THE APPLICANT/PURCHASER OF SUCH RESIDENCE/LOT FILES A STATEMENT WITH THE TOWN CLERK THAT HE OR SHE UNDERSTANDS THAT THE LOT LIES WITHIN OR CLOSE TO AN AGRICULTURAL DISTRICT, WITHIN WHICH

A DEEDED DECLARATION REFERENCING THE AGRICULTURAL NOTES HAS BEEN RECORDED IN THE DUTCHESS COUNTY CLERK'S OFFICE AT LIBER XXXX AND PAGE XXXX ON X/X/XXXX (NOTE: ACTUAL LIBER AND PAGE NUMBERS TO BE INSERTED FOLLOWING RECORDING).



POUGHKEEPSIE, NY 126

**PROJECT INFORMATION** 

15925.00

KEARNEY REALTY & DEVELOPMEN

THE HAMLET AT RHINEBCK

GROUP, INC

Project Address ASTOR DR RHINEBECK, NY 12572

SED Numbe

N/A

**REVISION SCHEDULE** 

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS ALTERED, THE ALTERING PARTY SHALL AFFIX TO THE TEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SHEET INFORMATION

3/9/2022 Project Status DESIGN Drawn By

KRS

Drawing Title

NOTES

AS NTOED

THE CHAZEN COMPANIES.

— — — NO PHYSICAL BOUNDS STONE WALL ----- W------ WATER MAIN TREE LINE UTILITY POLE HYDRANT WATER VALVE

CERTIFIED TO:

ALL NEW YORK TITLE
NEW YORK CITY HOUSING PARTNERSHIP
THE KEARNEY REALTY & DEVELOPMENT GROUP INC.
• NORTHERN DUTCHESS HOSPITAL

PROPERTY INFORMATION RHINECLIFF ROAD RHINEBECK, NY 12572 PARCEL # 135089-6170-00-223336 (TOWN OF RHINEBECK) W. MARKET STREET RHINEBECK, NY 12572

PARCEL # 135001-6170-14-295280 (VILLAGE OF RHINEBECK) L. 1221, P. 378

THE LOCATION OF UNDERGROUND UTILITIES HEREON ARE BASED ON THE OBSERVED EVIDENCE OF ABOVEGROUND APPURTENANCES ONLY, PROVIDED TO THE SURVEYOR BY VARIOUS PUBLIC ENTITIES AND SUB TERRAIN MARK OUT PERFORMED BY EACH UTILITY COMPANY. THE SURVEYOR HAS NOT BEEN PROVIDED WITH UNDERGROUND PLANS TO DETERMINE THE LOCATION OF SUB TERRAIN USES.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES OF THE ORIGINAL OF THIS SURVEY MAP MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES. IT IS HEREBY CERTIFIED THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, LENDING INSTITUTION AND THE GOVERNMENTAL AGENCY LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NON TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

SURVEYED AS PER MAPS AND DEEDS OF RECORD AND AS IN INDICATED POSSESSION ON OR BEFORE DECEMBER 30, 2020.

26 IBM ROAD POUGHKEEPSIE, NY 12601

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PROJECT INFORMATION

15925.00

KEARNEY REALTY & DEVELOPMENT GROUP, INC

THE HAMLET AT RHINEBCK

ASTOR DR RHINEBECK, NY 12572

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SHEET INFORMATION

KRS

3/9/2022 Project Status DESIGN

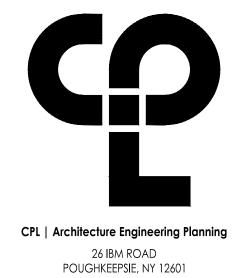
Drawn By

Drawing Title EXISTING CONDITIONS

EXISTING CONDITIONS PLAN NOTES:

1. SHADING REPRESENTS SLOPES EQUAL TO OR GREATER THAN 25%.

2. TOPOGRAPHIC CONTOUR INTERVALS OF 2 AND 10 FEET PER AERIAL SURVEY BY TOPOGRAPHIC CONTOUR INTERVALS OF 2 AND TO FEET PER AERIAL SURVEY BY
THE CHAZEN COMPANIES.
 PROPERTY LINES BASED ON BOUNDARY SURVEY MAP PREPARED BY CPL DATED
1/4/2021, LAST REVISED 1/11/2021.
 FEDERAL WETLAND BOUNDARIES ARE BASED ON DELINEATION ON 4/29/2021 BY
ECOLOGICAL SOLUTIONS. WETLAND FLAGS LOCATED BY CPL ON 4/30/2021.
 ECOLOGICAL SIGNIFICANT HABITAT: UPLAND HARDWOOD FOREST, PER
HUDSONIA LTD REPORT DATED JULY 2007. PROPERTY LINE —100Y — 100-YR FLOOD PLAIN BOUNDARY



CPLteam.com

PROJECT INFORMATION

15925.00

KEARNEY REALTY & DEVELOPMENT GROUP, INC

THE HAMLET AT RHINEBCK

Project Address ASTOR DR RHINEBECK, NY 12572

SED Number N/A

REVISION SCHEDULE

No. Date Description

FOR REVIEW ONLY
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SHEET INFORMATION

Issued
3/9/2022
Project Status

DESIGN
Drawn By Check

1" = 100'

Drawing Title
ENVIRONMENTAL ANALAYSIS MAP

HAR C101

(IN FEET) GR1 INCH = 100 FT.

ZONING BULK TABLE - VILLAGE GATEWAY (VG) **REQUIRED PROVIDED STANDARD** MAXIMUM DENSITY 1 DU/6,000 SF 1 DU/12,687 SF MIN. BUILDING SETBACKS FRONT 10 FT MAX./25 FT MIN. 659 FT REAR 25 FT 784 FT MIN. PARKING SETBACKS FRONT N/A N/A N/A N/A REAR N/A N/A 33 FT MAX. BUILDING HEIGHT 35 FT MAX. BUILDING COVERAGE 30% 12.40% MIN. LOT COVERAGE N/A N/A 71 FT MIN. LOT WIDTH 60 FT 993 FT MIN. LOT FRONTAGE 60 FT MIN. OPEN SPACE N/A

LOT AREA = 23.3 AC

VEHICULAR PARKING REQUIREMENTS USE **REQUIRED PROVIDED** MULTIFAMILY DWELLING (80 UNITS) 1.5 SPACES PER DWELLING UNIT 1.5 x 80 DU ADA SPACES LAND BANKED SPEACES TOTAL SPACES

LAND BANKED -

PROPOSED — PATIO AREA

PARKING SPACES

STORMWATER PRACTICE

N/F
THE INCORPORATED
VILLAGE OF RHNEBECK
L. 1607, P. 273
135089-6170-00-225464

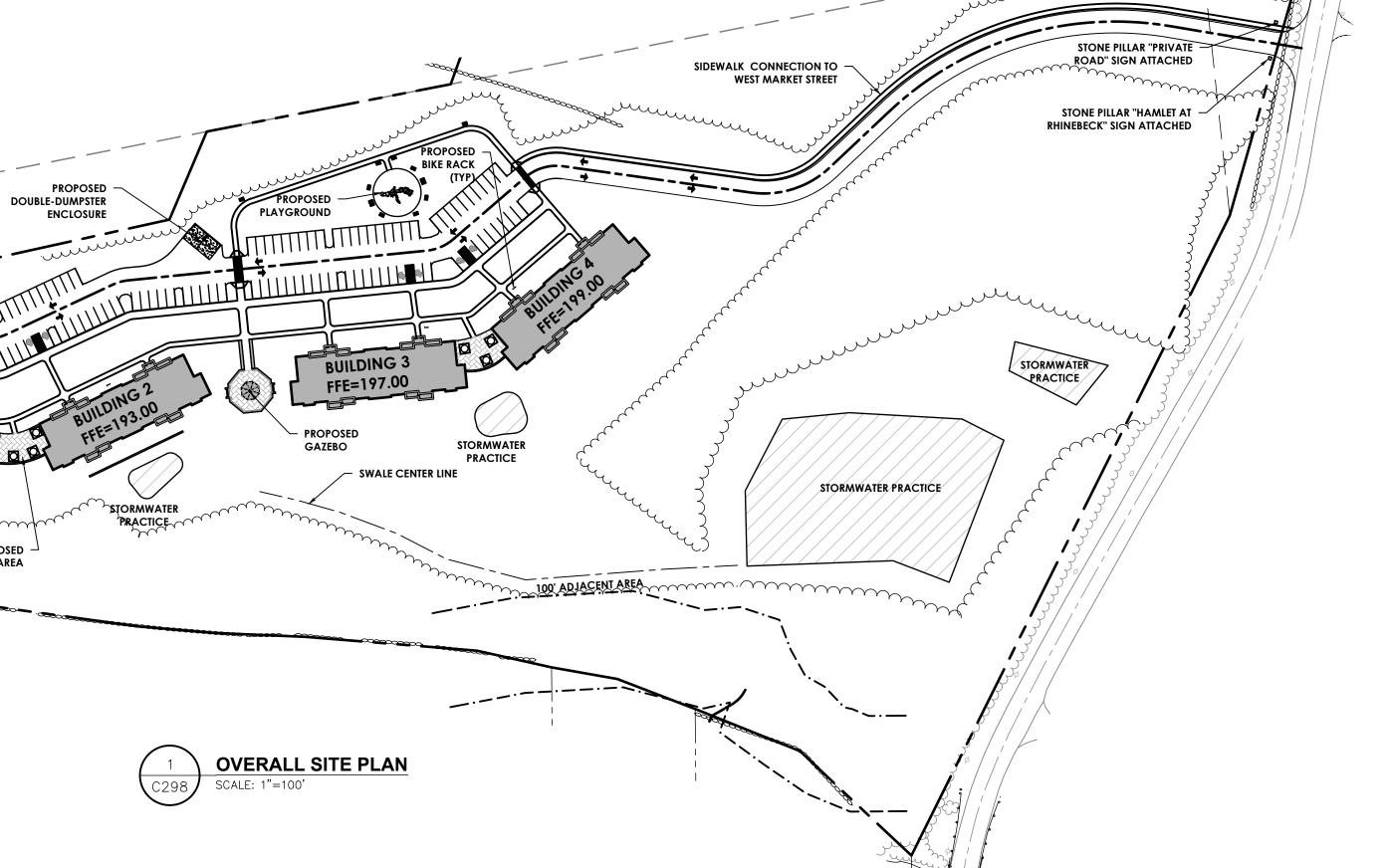
STORMWATER PRACTICE

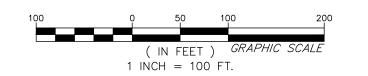
- PROPOSED GATE ACCESS ONLY" /

N/F NORTHERN

135001-6170-13-242474

HOMEOWNERS | B. 1779, P. 70 135001-6170-13-233474 135089-6170-00-226476







PROJECT INFORMATION

15925.00

KEARNEY REALTY & DEVELOPMENT GROUP, INC

THE HAMLET AT RHINEBCK

Project Address **ASTOR DR** RHINEBECK, NY 12572

SED Number N/A

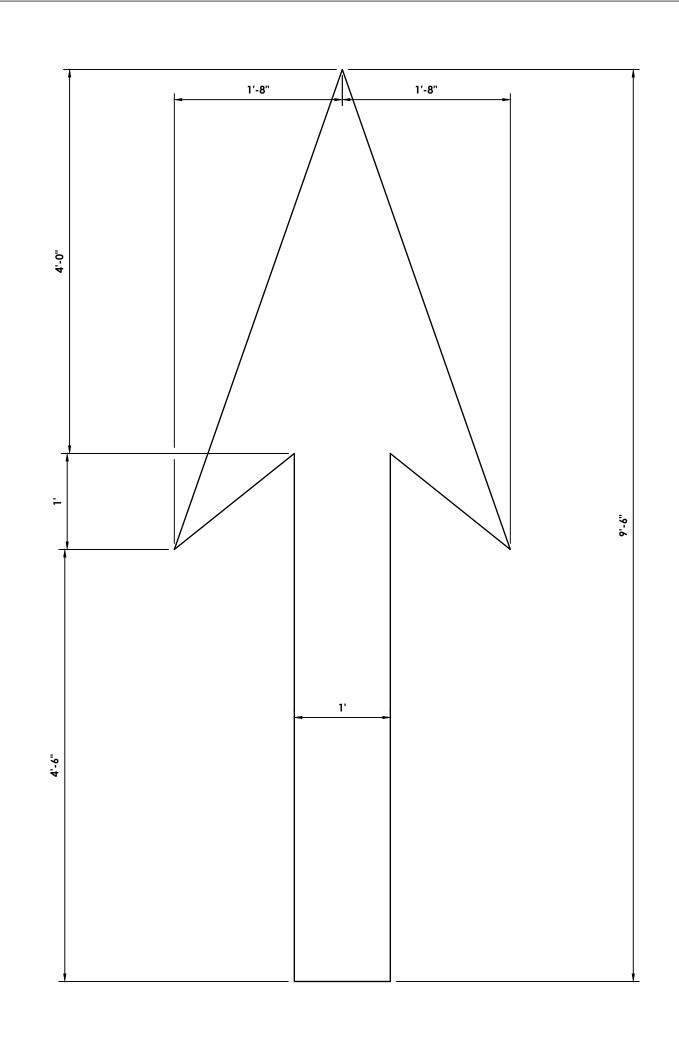
**REVISION SCHEDULE** 

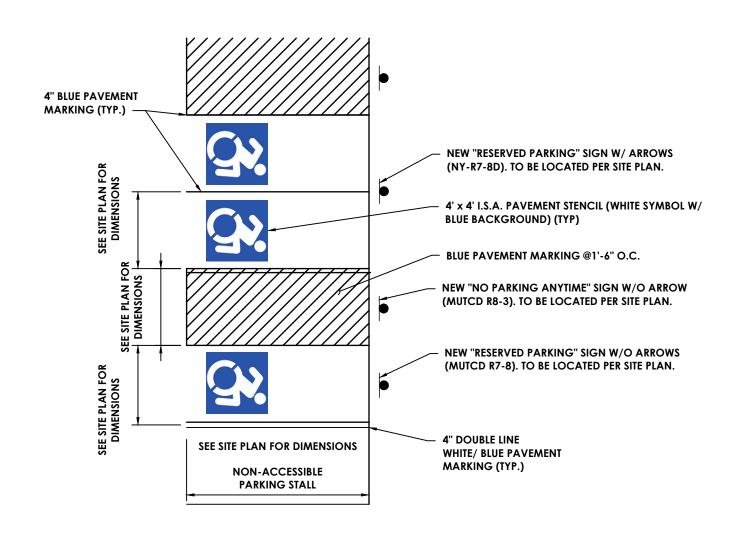
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BRARING THE SEAL OF AN ARCHITECT, ENGINEER OR IF AIM TERM BERIND THE SEAL OF AN ARCHITECT, ENGINEER OF SURVEYOR IS ALTERED, THE ALTERING PARTY SHALL AFRIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

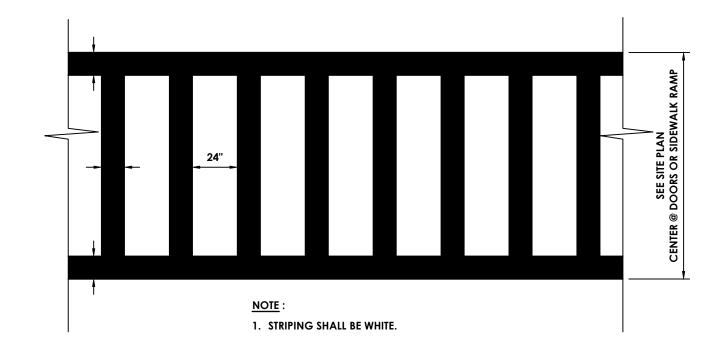
SHEET INFORMATION

3/9/2022 1" = 100' Project Status DESIGN Drawn By

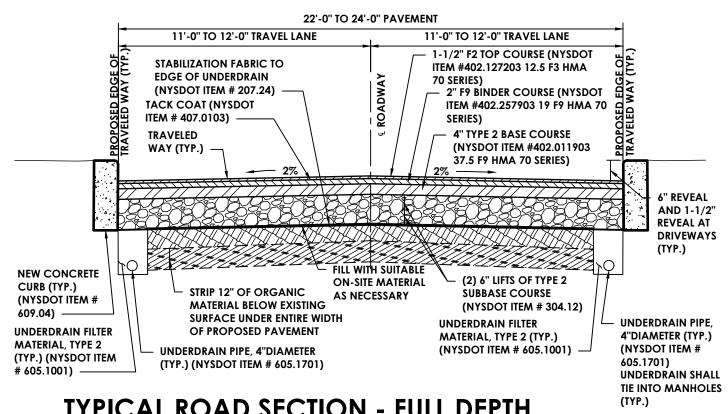
KRS Drawing Title OVERALL SITE PLAN



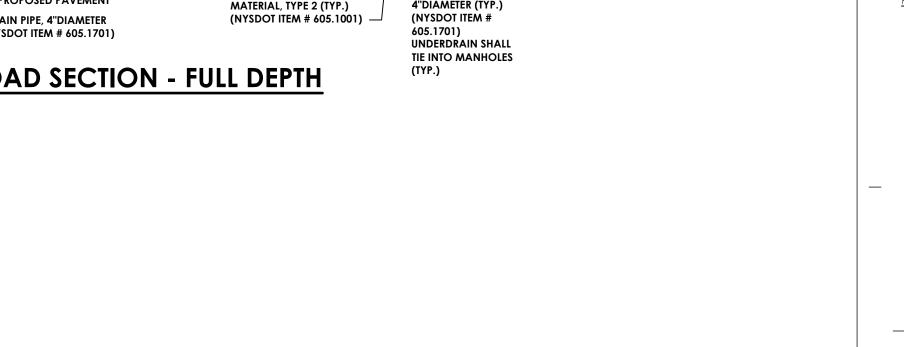


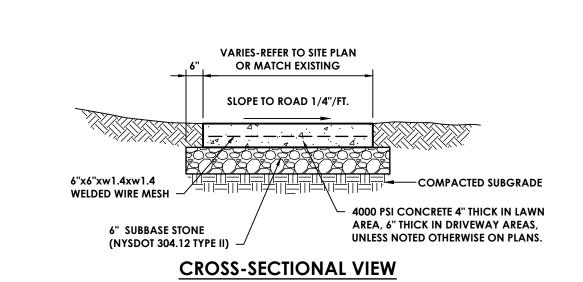


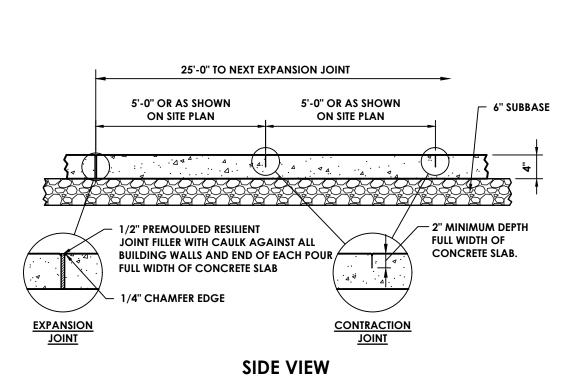
### **CROSSWALK STRIPING**



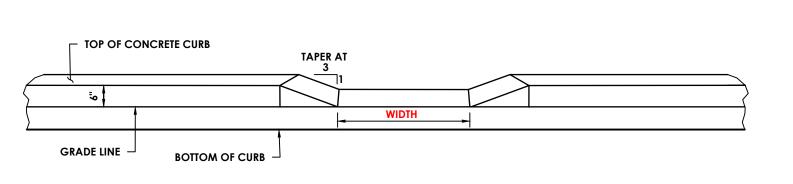
### TYPICAL ROAD SECTION - FULL DEPTH





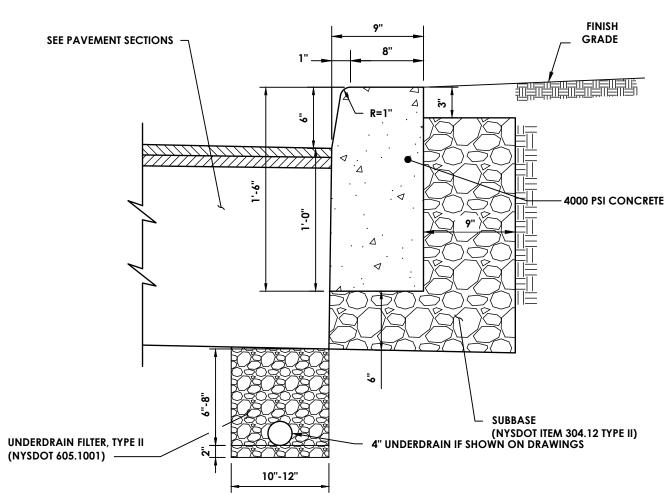


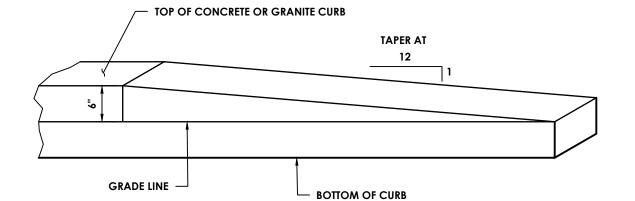
TYPICAL CONCRETE SIDEWALK



TYPICAL ACCESSIBLE PARKING STRIPING

CURB BREAK





CURB TRANSITION / TERMINAL

- 1. CONTRACTION JOINTS TO BE AT 10 FOOT INTERVALS AND SHALL BE FORMED OR SAW CUT TO A DEPTH OF 1/2 INCH BELOW THE SURFACE OF THE CURB.
- 2. EXPANSION JOINTS TO BE AT 50 FOOT INTERVALS AND SHALL BE FORMED WITH 3/4 INCH WIDE PREMOLDED BITUMINOUS JOINT FILLER. THE FILLER MATERIAL SHALL BE CUT TO CONFORM TO THE CROSS SECTION OF THE CURB.
- 3. EXPANSION JOINTS AND FORMED CONTRACTION JOINTS ARE TO BE EDGED WITH CONCRETE FINISHING TOOLS.
- 4. CONCRETE SEALING AGENT SHALL BE APPLIED THE SAME DAY THAT CURBS ARE

CONCRETE CURB

CPL | Architecture Engineering Planning 26 IBM ROAD POUGHKEEPSIE, NY 12601 CPLteam.com

PROJECT INFORMATION

**KEARNEY REALTY &** 

THE HAMLET AT

RHINEBECK, NY 12572

**REVISION SCHEDULE** 

DEVELOPMENT GROUP, INC

Project Number

15925.00

Project Name

RHINEBCK

Project Address **ASTOR DR** 

SED Number

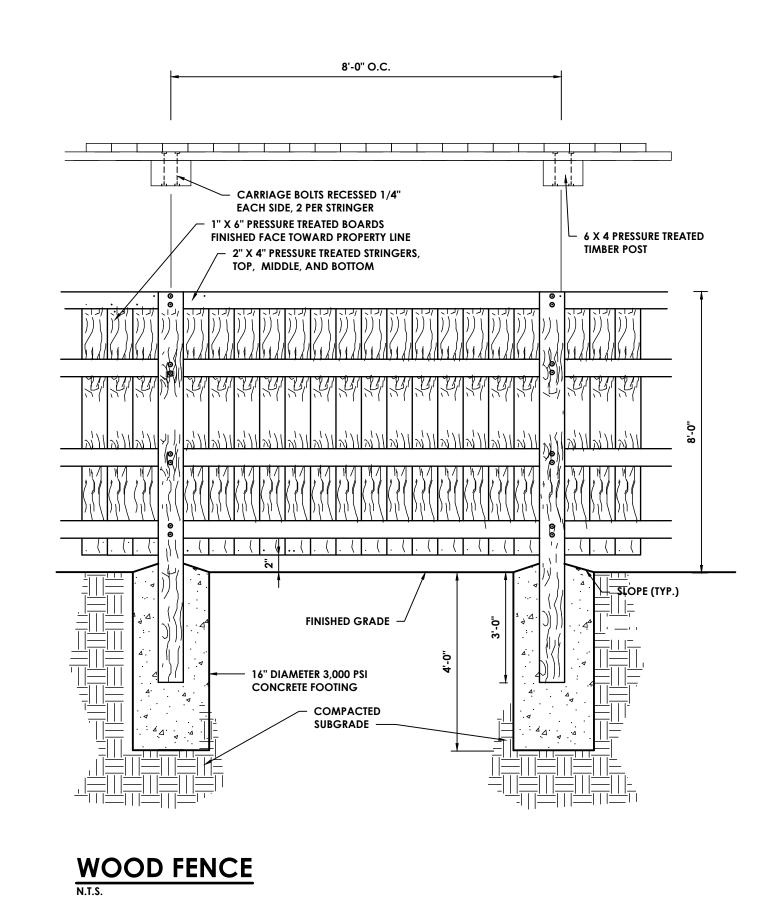
N/A

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Issued 3/9/2022 **AS NOTED** Project Status DESIGN Drawn By Checked By

KRS Drawing Title SITE DETAILS - 1



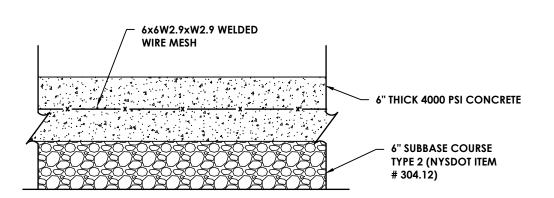
10'-4" CENTER TO CENTER

4"x4" END POST

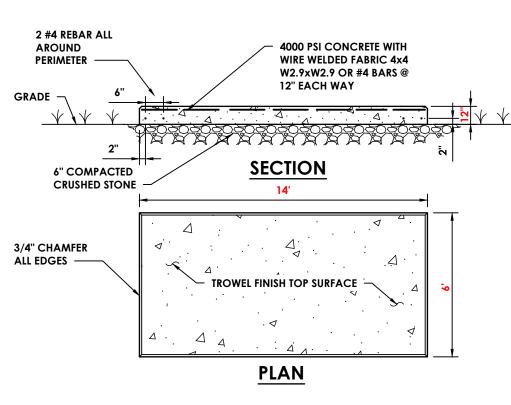
- DIG HOLE AND COMPACT SOIL

SPLIT RAIL FENCE

AROUND POST



## **6" REINFORCED CONCRETE PAD**

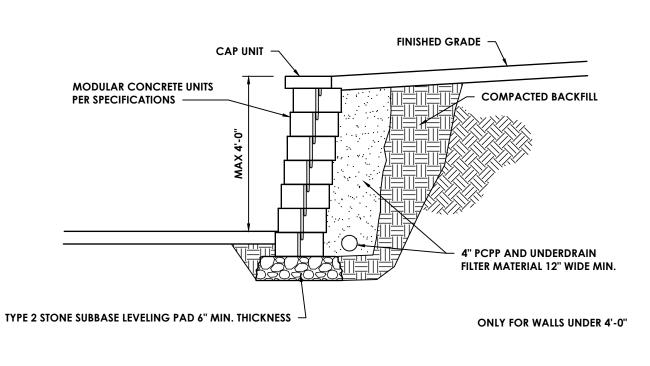


# GENERATOR PAD N.T.S.

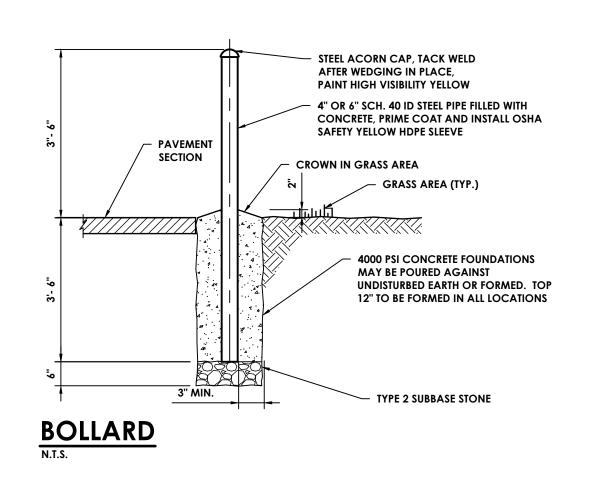
4"x4" END POST

**PLAN VIEW** 

─ 3"x6" INTERMEDIATE



# MODULAR BLOCK WALL - UNREINFORCED



					SIGN TA	BLE		
	SIGN	SIZE	LETTER	MUTCD #	BACKGROUND	LEGEND	DOT MOUNT NUM.	QUANTITY
1	ALL TRAFFIC	18" X 24"	SEE MUTCD	R3-14	WHITE (RETROREFLECTIVE)	BLACK (RETROREFLECTIVE)		
2	STOP STOP SIGN	30" X 30"	SEE MUTCD	R1-1	RED (RETROREFLECTIVE)	WHITE (RETROREFLECTIVE)		
3	BUSES ONLY SIGNS	18" X 24"	SEE MUTCD	N/A	WHITE (RETROREFLECTIVE)	BLACK (RETROREFLECTIVE)		
4	DO NOT ENTER	30" X 30"	SEE MUTCD	R5-1	WHITE (RETROREFLECTIVE)	WHITE (RETROREFLECTIVE)		
5	ONE WAY	36" X 12"	SEE MUTCD	R6-1	WHITE (RETROREFLECTIVE)	BLACK (RETROREFLECTIVE)		
6	NO PARKING	18" X 24"	SEE MUTCD	R8-3	WHITE (RETROREFLECTIVE)	RED (RETROREFLECTIVE)		
7	ANY TIME NO PARKING ANY TIME	18" X 24"	SEE MUTCD	R7-1	WHITE (RETROREFLECTIVE)	RED (RETROREFLECTIVE)		
8	FIRE LANE NO PARKING NO STANDING NO STOPPING		SEE NYS FIRE CODE APPENDIX D		WHITE (RETROREFLECTIVE)	RED (RETROREFLECTIVE)		
9	RESERVED PARKING	18" X 24"	SEE MUTCD	R7-8	WHITE (RETROREFLECTIVE)	BLUE (RETROREFLECTIVE)		
10>	RESERVED PARKING	12" X 18"	SEE MUTCD	R7-8	WHITE (RETROREFLECTIVE)	GREEN, BLUE (RETROREFLECTIVE)		
(11)	RESERVED PARKING	12" X 18"	SEE MUTCD	R7-8	WHITE (RETROREFLECTIVE)	GREEN, BLUE (RETROREFLECTIVE)		

INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 6' PRIVACY FENCE SHALL BE MANUFACTURED BY XXXXX OR APPROVED EQUAL.

3000 PSI CONCRETE

**6% AIR ENTRAINED** 

FOOTING (TYP.)

6' HIGH VINYL PRIVACY FENCE

18"DIA.

- SEE CONCRETE

18"DIA.

# ROAD SIGN TABLE



PROJECT INFORMATION Project Number

15925.00 Client Name KEARNEY REALTY & **DEWELOPMENT** TA DEPAINMENDENTS

Project Address **ASTOR DR** RHINEBECK, NY 12572 SED Number

N/A

RHINEBCK

**REVISION SCHEDULE** 

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SHEET INFORMATION

Issued 3/9/2022 **AS NOTED** Project Status DESIGN Drawn By

Checked By KRS Drawing Title SITE DETAILS - 2

Drawing Number HAR C501

### **GENERAL**:

- 1. THE DIMENSIONS AND SLOPE PRESENTED IN THE DETAILS ARE THE MINIMUM NECESSARY TO COMPLY WITH THE ADA AND DOT STANDARDS. ANY DEVIATION LESS THAN THE MINIMUM WIDTH OR GREATER THAN THE MAXIMUM SLOPE FROM THESE STANDARDS MUST BE DOCUMENTED WITH THE STANDARDS BEING MET TO THE GREATEST EXTENT PRACTICABLE AND CONSISTENT WITH THE MOST CURRENT ADAAG.
- 2. THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUALITY OF DOMES DEPICTED ON THE DETECTABLE WARNING UNIT (THE DOMES AND THE ENTIRE 24" LEVEL SURFACE) IS FOR ILLUSTRATION ONLY.
- 3. CURB RAMPS, LANDINGS AND BLENDED TRANSITIONS MAT REQUIRE THE USE OF DETECTABLE WARNINGS. DETECTABLE WARNINGS ON THIS SHEET ARE SHOWN FOR ILLUSTRATION ONLY. REFER TO THE DETECTABLE WARNING DETAILS FOR DETAILS ON PLACEMENT, ORIENTATION & DIMENSIONS. REFER TO CHAPTER 18 OF THE HIGHWAY DESIGN MANUAL FOR MORE INFORMATION.
- 4. THE CONFIGURATIONS SHOWN GENERICALLY REPRESENT THE MOST COMMON SITUATIONS ENCOUNTERED. THEY ARE INTENDED TO PRESENT CURB RAMP DESIGN CONCEPTS. SITE CONDITIONS AT INDIVIDUAL LOCATIONS REQUIRE SPECIFIC DESIGNS.
- 5. COORDINATE TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD.
- 6. USE TYPE 8 ONLY WHERE OTHER RAMPS ARE UNUSABLE. SINGLE DIAGONAL OR DEPRESSED CORNER CURB RAMPS SERVING TWO STREET CROSSING DIRECTIONS SHOULD BE AVOIDED IN NEW CONSTRUCTION AND SHOULD ONLY BE CONSIDERED WHERE CONDITIONS REQUIRE THEIR USE. SEE NYSDOT STANDARD SHEETS 608-01 FOR RAMP TYPES.
- 7. GRATES SHALL NOT BE LOCATED ON CURB RAMPS, BLENDED TRANSITIONS OR LANDINGS. ACCESS TO COVERS OF SIMILAR SURFACES SHALL COMPLY WITH APPLICABLE SURFACE REQUIREMENTS.
- 8. UTILITIES, SIGNS AND OTHER FIXED OBJECTS MAY NOT BE PLACED ON A CURB, OR IN A MANNER THAT INTERFERES WITH THE USE OF
- THE CURB RAMP.

  9. THE SURFACE OF ALL CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR
- TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING FIELDS.

  10. THERE SHALL BE A LANDING AT THE TOP OF EACH PERPENDICULAR CURB RAMP AND A LANDING AT THE BOTTOM OF RAMPS TYPE 6 &
- 9. SEE NYSDOT STANDARD SHEETS 608-01 FOR RAMP TYPES.
- 11. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR A SINGLE LANDING MAY SERVE MULTIPLE CURB RAMPS.
- 12. LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.

### **CURB RAMP NOTES:**

- 13. THE MINIMUM WIDTH FOR SIDEWALK CURB RAMPS IS 5'-0".
- 14. THE RUNNING SLOPE OF A CURB RAMP SHALL BE 1:20 (5%) MINIMUM (PREFERRED) AND 1:12 (8.33%) MAXIMUM.
- 15. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 8.33% THE CURB RAMP LENGTH IS THE LENGTH NECESSARY TO MEET THE EXISTING SIDEWALK. IT IS NOT NECESSARY THAT THE RAMP LENGTH EXCEED 15'-0".
- 16. THE CROSS SLOPE OF CURB RAMPS SHOULD BE AS FLAT AS POSSIBLE, NOT TO EXCEED 1:50 (2%). THE CROSS SLOPE AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.
- 17. THE VERTICAL ALIGNMENT OF A CURB RAMP, EXCLUDING THE FLARES, SHALL BE PLANAR. GRADE BREAKS SHALL BE FLUSH AND PERPENDICULAR TO THE DIRECTION OF THE RAMP.
- 18. RAMP TRANSITIONS BETWEEN WALKS, LANDINGS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES
- 19. WHERE A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED PARALLEL TO THE CURB LINE, SHALL BE PROVIDED.

### **SIDEWALK NOTES**

### LANDING NOTES:

- 20. LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 5'-0" BY 5'-0"
- 21. THE RUNNING AND CROSS SLOPES ON LANDINGS AT INTERSECTIONS IS 1:50 (2%) MAXIMUM. THE RUNNING AND CROSS SLOPES AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.

### **DETECTABLE WARNING UNIT DIMENSIONS:**

22. THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE, EXCLUSIVE OF SIDE FLARES.

### **DETECTABLE WARNINGS LOCATIONS:**

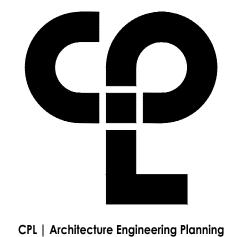
- 23. DETECTABLE WARNINGS SHALL BE LOCATED SO THAT THE EDGE OR CORNER OF THE WARNING FIELD NEAREST TO THE ROADWAY IS 5" TO 9" FROM THE FRONT OF THE CURB OR THE ROADWAY EDGE (12" WHERE TRAVERSABLE CURB IS USED).
- 24. THE EDGE OF THE DETECTABLE WARNING FIELD NEAREST TO A RAILROAD CROSSING SHALL BE 6'-0" MINIMUM AND 15'-0" MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL.

### DOME ALIGNMENT:

- 25. THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE GRADE BREAK BETWEEN THE RAMP LANDING OR CURB RAMP AND THE STREET.
- 26. WHERE DOMES ARE ARRAYED RADIALLY THEY MAY DIFFER IN DOME DIAMETER AND CENTER-TO-CENTER SPACING WITHIN THE RANGES SPECIFIED ON THIS SHEET.

### **COLOR REQUIREMENTS:**

27. THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS.



POUGHKEEPSIE, NY 12601

CPLteam.com

PROJECT INFORMATION

Project Number
15925.00
Client Name
KEARNEY
REALTY &
DEWELOPMENT
THEOLOPMENT
RHINEBCK

Project Address

ASTOR DR
RHINEBECK, NY 12572

SED Number

N/A

REVISION SCHEDULE

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Drawn By

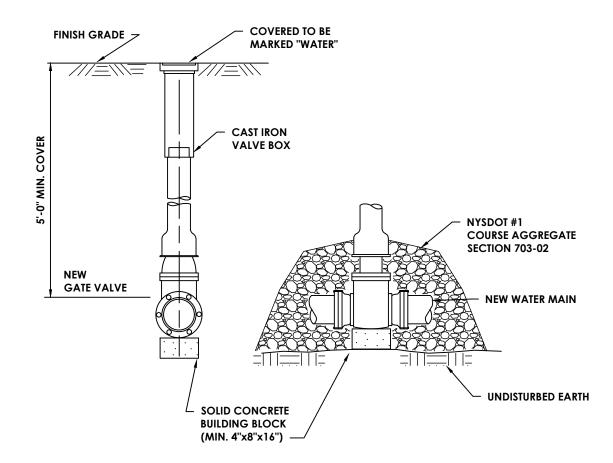
Drawn By Checked By
KRS ALL
Drawing Title

SITE DETAILS - 3

Revision Numb

**AS NOTED** 

HAR C502

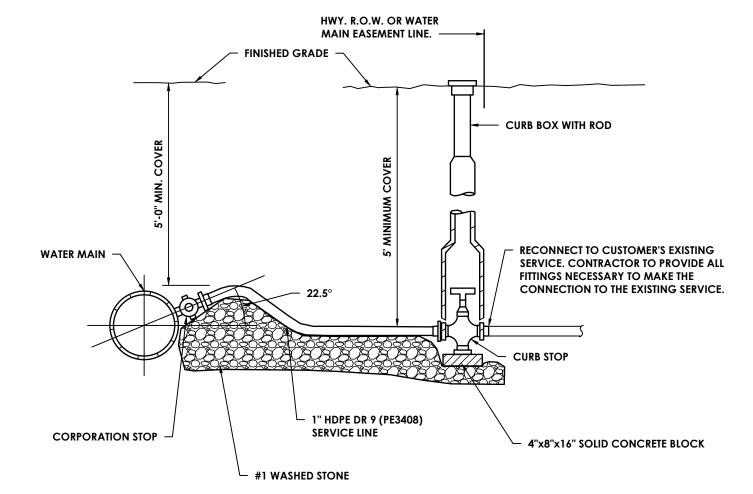


NOTES:

- 1. VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED FILL.
- 2. VALVE SHALL NOT SUPPORT VALVE BOX.
- 3. ALL BODY AND BONNET BOLTS SHALL BE STAINLESS STEEL.
- ALL VALVES SHALL BE OPEN LEFT.
   FOR HDPE PIPE INSTALLATIONS SEE DETAIL "PIPE TRANSITION DETAIL WITH
- MECHANICAL JOINT ADAPTOR CONNECTION".

  6. POLY WRAP PIPES.

# WATER MAIN GATE VALVE

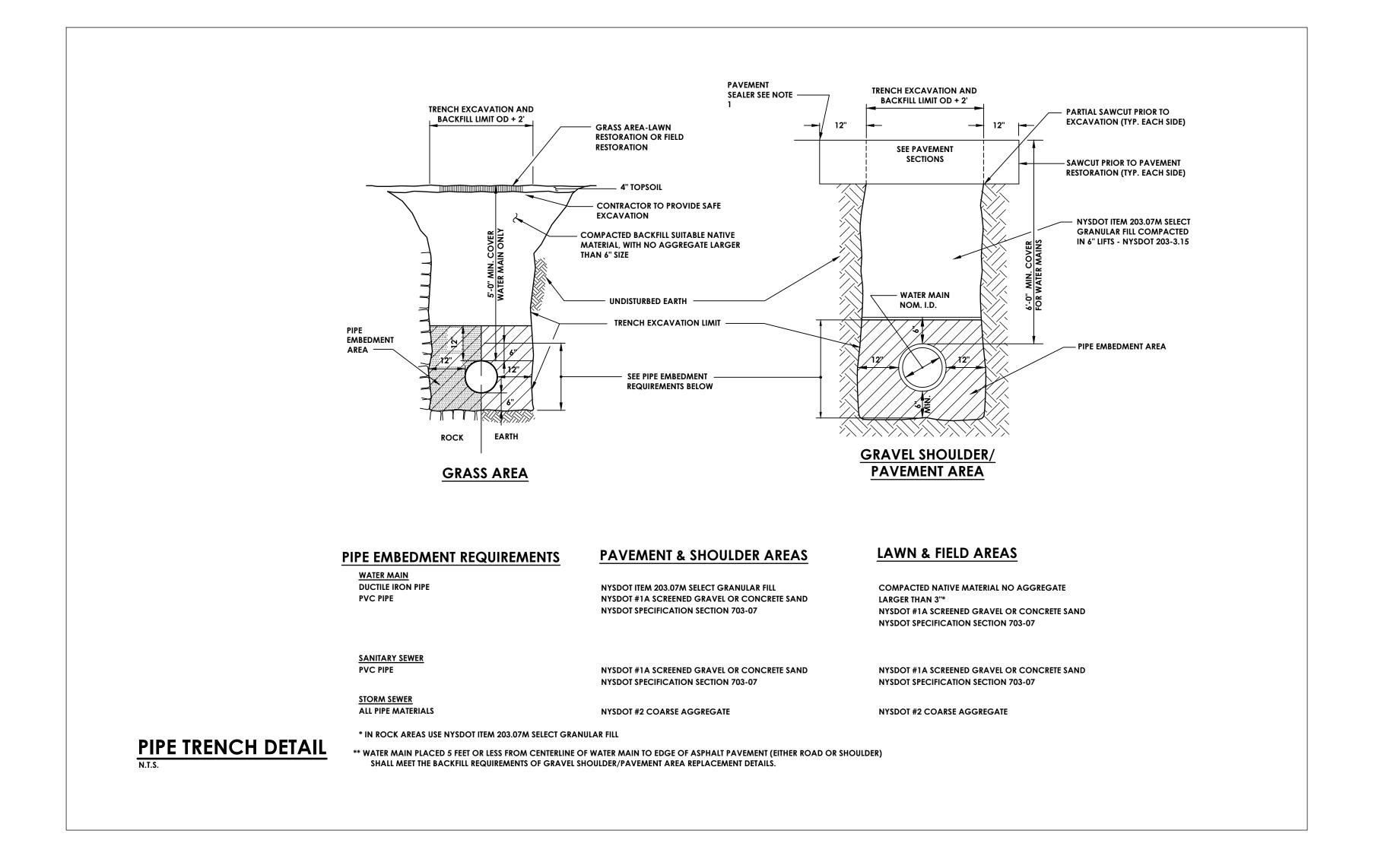


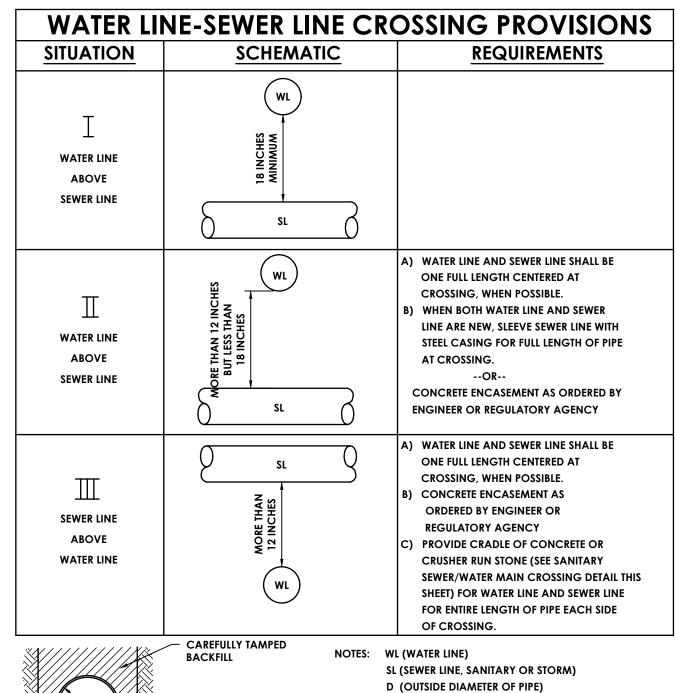
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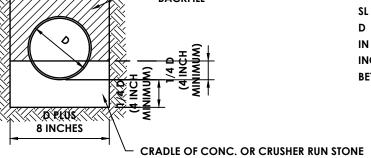
- 1. FOR SERVICES 1 1/2" AND LARGER, USE BRASS 22 1/2° BEND WITH
- COMPRESSION COUPLING TO SERVICE LINE.
- NO CURB BOXES SHALL BE LOCATED IN DITCHES OR DRAINAGE SWALES.
   ALL SERVICE TAPS LARGER THAN 1" ON DUCTILE IRON PIPE WATER MAINS SHALL UTILIZE SERVICE SADDLES. ALL
- SERVICE TAPS ON PVC OR HDPE WATER MAINS SHALL UTILIZE SERVICE SADDLES, REGARDLESS OF SIZE.

  4. STAINLESS STEEL INSERTS SHALL BE USED AT ALL HDPE CONNECTIONS.
- 5. FOR INSTALLATIONS ON 2-INCH TO 4-INCH HDPE WATER MAIN, INSTALL ELECTROFUSION TRANSITION SADDLES WITH BRASS OUTLET AND 1" CC THREADS. INSTALL WITH CLAMP PER MANUFACTURER RECOMMENDATIONS.

### TYPICAL WATER SERVICE







SL (SEWER LINE, SANITARY OR STORM)
D (OUTSIDE DIAMETER OF PIPE)
IN NO CASE SHALL PIPE BE CLOSER THAN 12
INCHES APART. DISTANCES ARE MEASURED
BETWEEN OUTSIDES OF PIPE.

SANITARY SEWER/WATER MAIN CROSSING



POUGHKEEPSIE, NY 12601

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PROJECT INFORMATION

Project Number
15925.00
Client Name
KEARNEY REALTY &
DEVELOPMENT GROUP, INC
Project Name
THE HAMLET AT

RHINEBCK

Project Address

ASTOR DR RHINEBECK, NY 12572 SED Number N/A

REVISION SCHEDULE

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SHEET INFORMATION

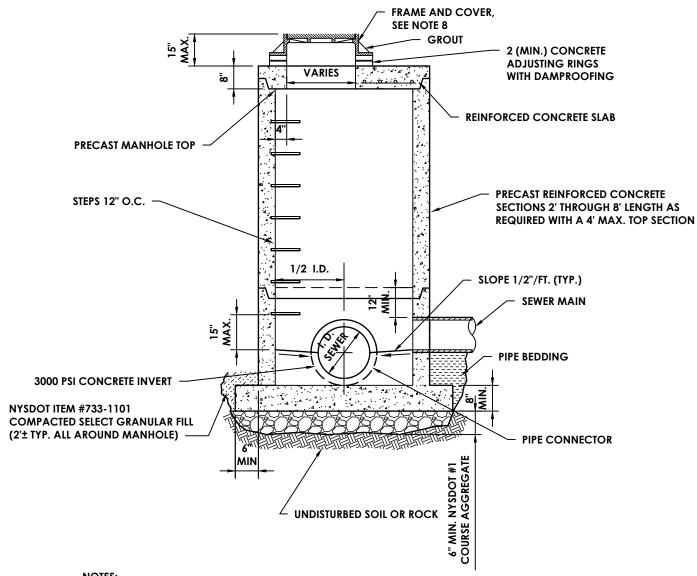
Issued
3/9/2022
Project Status
DESIGN
Drawn By

Drawn By Checked By
KRS ALL
Drawing Title
WATER DETAILS - 1

Drawing Number Revision

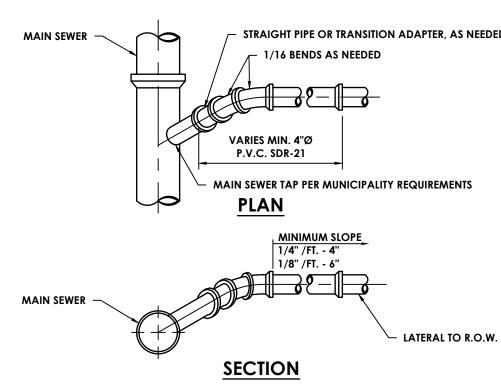
**AS NOTED** 

HAR C510

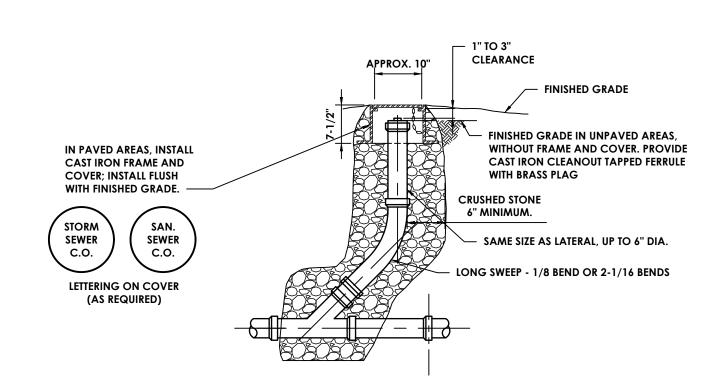


- 1. STUBS 4' MAX. R.C.P., 1' MAX. ALL OTHER PIPE MATERIALS FROM OUTSIDE FACE. 2. USE TWO COATS OF SIKAGUARD NO. 62 BY SIKA OR DURALCOTE BY DURAL OR APPROVED EQUIVALENT FOR
- INTERIOR COATING OF BASE TO TOP OF HIGHEST PIPE. USE TWO COATS OF KOPPERS SUPER SERVICE BLACK OR APPROVED EQUIVALENT ON OTHER INTERIOR AND ALL EXTERIOR SURFACES. 3. ALL RISER JOINTS SHALL BE RUBBER RING GASKETS CONFORMING TO A.S.T.M. C443 WITH FLEXIBLE JOINT SEALER
- 4. PIPE CONNECTIONS TO MANHOLE BASE SHALL BE BELL WALL FITTINGS FOR R.C.P. WITH STEEL RING JOINTS. FOR ALL OTHER PIPES USE PRESS-SEAL CAST-A-SEAL 12-08 CAST IN BOOT OR PSX DIRECT DRIVE CONNECTOR.
- CONNECTION SHALL BE GROUTED AND ALL SURFACES COATED.
- 5. PRECAST BASES, RISER SECTIONS AND TOP SLABS SHALL CONFORM WITH A.S.T.M. C478. 6. CORED OPENINGS IN MANHOLE RISER SECTIONS SHALL NOT BE LESS THAN 6" FROM A RISER JOINT.
- 7. MANHOLE TOP SLABS, FRAMES AND COVERS SHALL BE DESIGNED FOR USE UNDER H-20 LOADING.
- 8. REQUIRE 24" I.D. FRAME AND COVER, NEENAH R-1713, OR APPROVED EQUAL. 9. ALL WORK FOR PRECAST SANITARY MANHOLES SHALL BE PAID FOR UNDER SANITARY PRECAST MANHOLE ITEMS. WORK INCLUDES EXCAVATION AND BACKFILL.

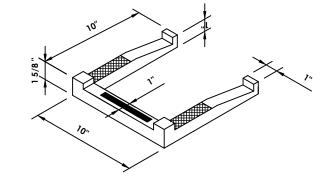
### PRECAST SANITARY MANHOLE



# WYE BRANCH CONNECTION

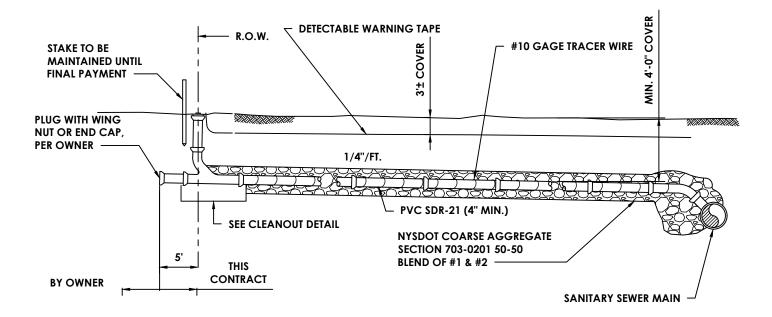


SEWER CLEAN-OUT

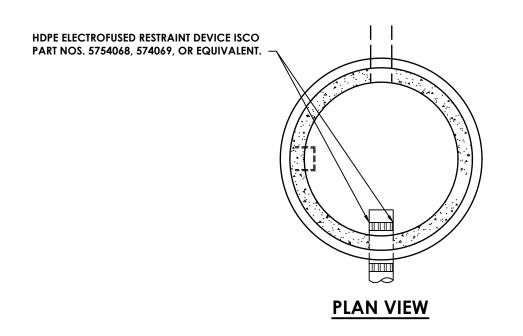


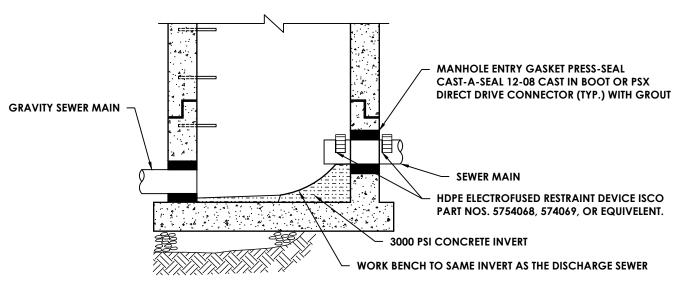
- 1. STEPS FOR DRAINAGE STRUCTURES SHALL CONFORM TO N.Y.S.D.O.T. MATERIAL SPECIFICATION 725-02.01. THE COST OF THE STEPS SHALL BE INCLUDED IN THE PRICE BID FOR THE MANHOLES.
- 2. STEPS TO BE PLACED IN STRUCTURES GREATER THAN 4 FEET IN DEPTH.

# MANHOLE STEP



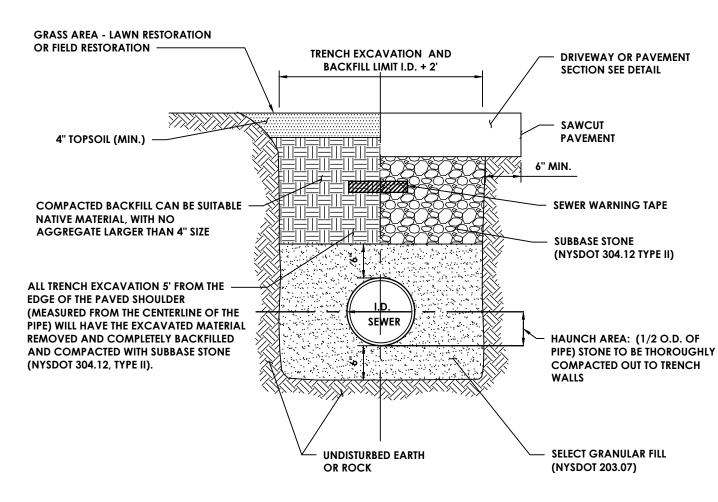
### TYPICAL SANITARY SEWER LATERAL





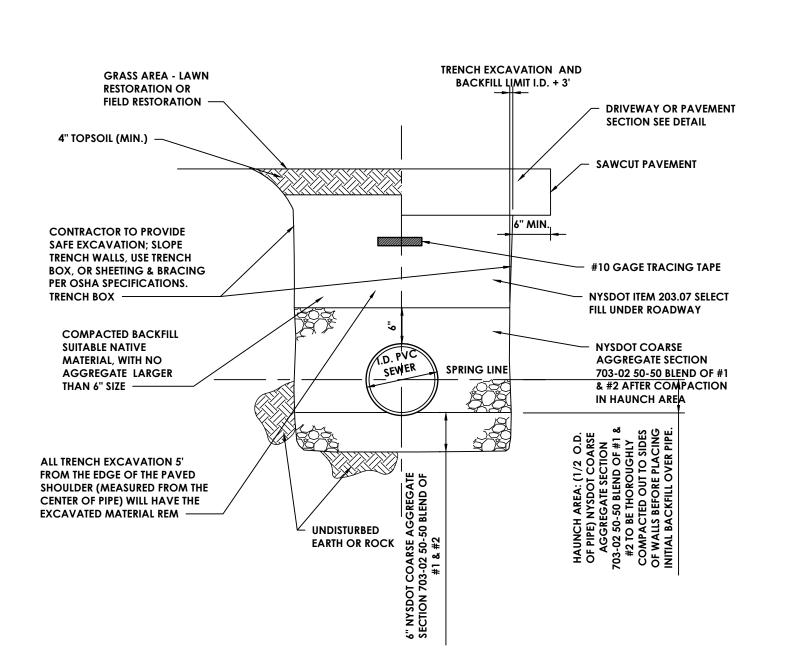
MANHOLE WITH FORCE MAIN CONNECTION

### SANITARY FORCE MAIN



- 1. CONTRACTOR TO PROVIDE SAFE EXCAVATION; SLOPE TRENCH WALLS, USE TRENCH BOX, OR SHEETING & BRACING PER OSHA SPECIFICATIONS. TRENCH BOX OR SHEETING AND BRACING TO BE LIFTED ABOVE THE SPRING LINE OF PIPE BEFORE BACKFILLING ABOVE SPRING LINE
- 2. PAVEMENT BACKFILL AND RESTORATION REQUIREMENTS SHALL APPLY TO WORK PERFORMED UNDER PROPOSED
- 3. BACKFILL OF SUITABLE MATERIAL SHALL BE COMPACTED IN 6" LIFTS.
- 4. ALL DISTURBED AREAS SHALL BE MULCHED OR HAVE TURF ESTABLISHMENT WITHIN 10 DAYS IF IN A GRASS AREA.

### SANITARY SEWER AND LATERAL TRENCH



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PROJECT INFORMATION

Project Number 15925.00

Client Name KEARNEY REALTY & DEVELOPMENT GROUP, INC Project Name

THE HAMLET AT RHINEBCK

Project Address ASTOR DR RHINEBECK, NY 12572

SED Number N/A

**REVISION SCHEDULE** 

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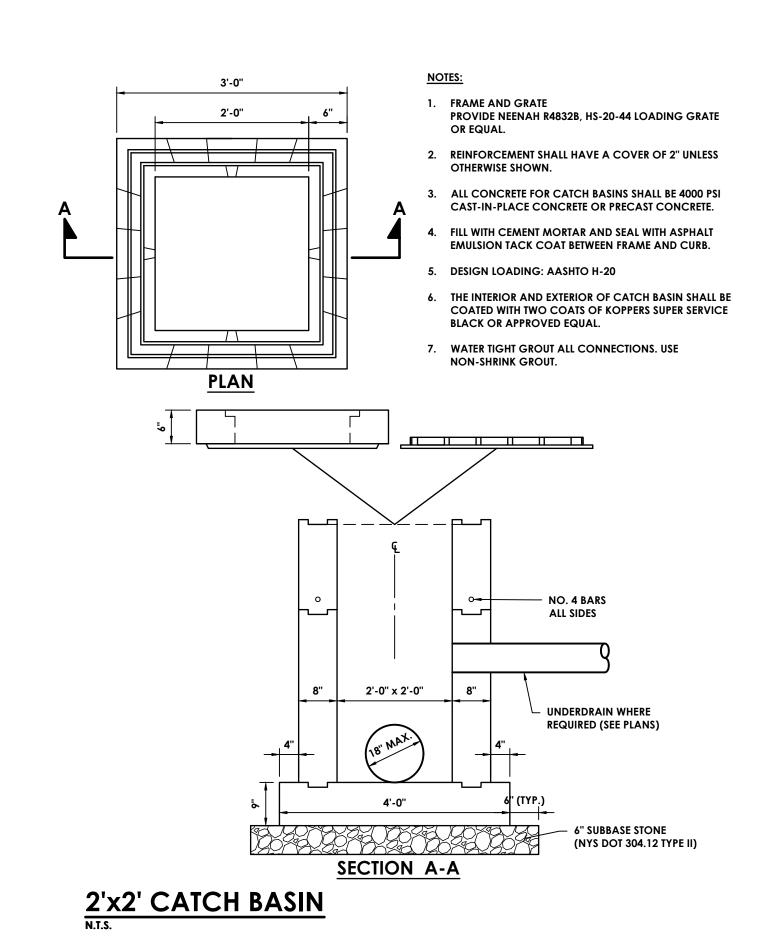
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SHEET INFORMATION

ssued 3/9/2022 AS NOTED Project Status DESIGN

Drawn By KRS

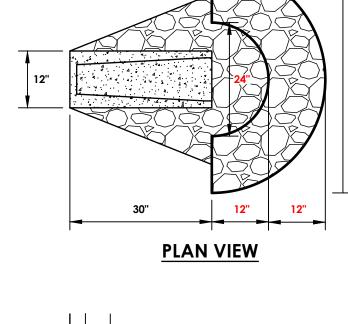
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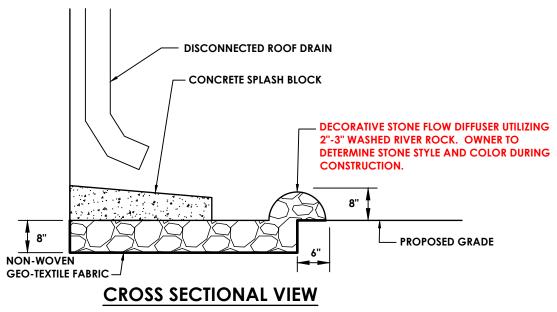


BIORETENTION CERTIFIED SOIL MIX 85-90% SAND (50% BETWEEN #10 AND #40 SIEVE) 10-15% FINES (<200 SIEVE) 3-5% ORGANIC CONTENT SOIL TO BE TESTED IN ACCORDANCE WITH NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL \*DETERMINE TYPE OF SOIL TO USE

**UNDERDRAIN. SEE DEIGN ENGINEER** 

**WET-TOLERANT PLANT SPECIES** — 2" WETLAND SEED MIX (SEE PLANTING PLAN) (SEE PLANTING PLAN) — FINISHED PAVEMENT GRADE 12" WASHED # 1 SHOWN ON PLAN — STONE DIAPHRAGM DRAIN ---- FINISHED **GRADE LAWN** 2.5' CERTIFIED SOIL MIZ 8" WASHED GRAVEL, 95% 1"-2" STONE SIZE FABRIC ENVELOPE WIDTH VARIES 6" PERFORATED CPP - COMPACTED EARTH BACKFILL WETLAND SEED MIX AREA LIMITS. (SEE PLANTING PLAN)



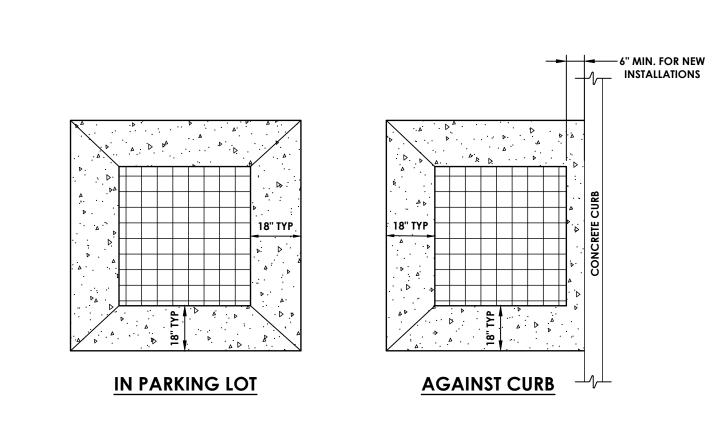


### **BIORETENTION**

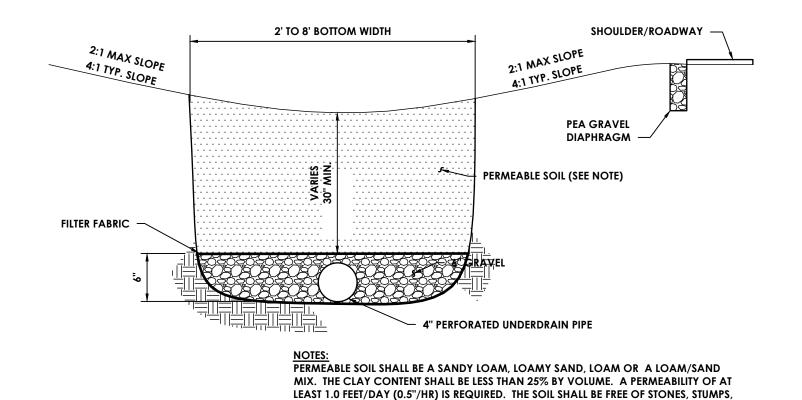
DRY SWALE



AS NOTED ON SITE PLAN



**PLAN VIEW** 



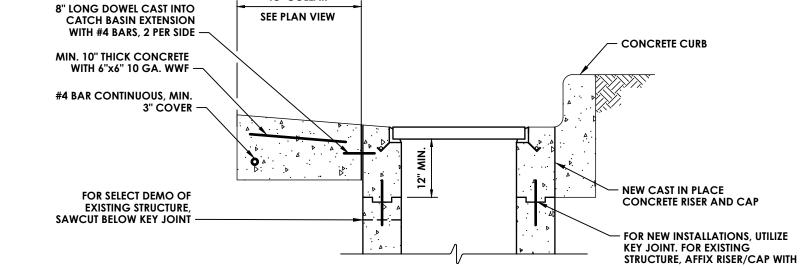
AND LOOSELY COMPACTED (BACKHOE BUCKET).



PAVEMENT

WASHED, CLEAN #1 &

#2 GRAVEL



**SECTION VIEW** 

8" LONG #4 BARS (TYP 2 PER SIDE). SEAL ALL JOINTS FROM INTERIOR

AND EXTERIOR.

6" ACO DRAIN-K200 TRENCH DRAIN AS SUPPLIED BY ACO - LOAD CLASS C ACO TYPE 660D SLOTTED IRON GRATE POLYMER PRODUCTS, INC. OR APPROVED EQUAL — - BROOM FINISH CONCRETE SURFACE. SLOPE TO TRENCH DRAIN CONCRETE SECTION - 4000 PSI CONCRETE

ROOTS AND OTHER WOODY MATERIAL. SOIL SHALL BE PLACED IN LIFTS OF 12" TO 18"

STONE DIAPHRAGM

SLOPE AWAY FROM

PAVEMENT AS SHOWN

ON GRADING PLAN —

# CONCRETE COLLAR (CB)

18" COLLAR

TRENCH DRAIN INSTALL TRENCH DRAIN AND GRATE PER MANUFACTURER'S RECOMMENDATIONS. IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON, UNLESS
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PROJECT INFORMATION

KEARNEY REALTY & DEVELOPMENT

Project Number

15925.00

Client Name

Project Name

RHINEBCK

Project Address

**ASTOR DR** 

SED Number N/A

GROUP, INC

THE HAMLET AT

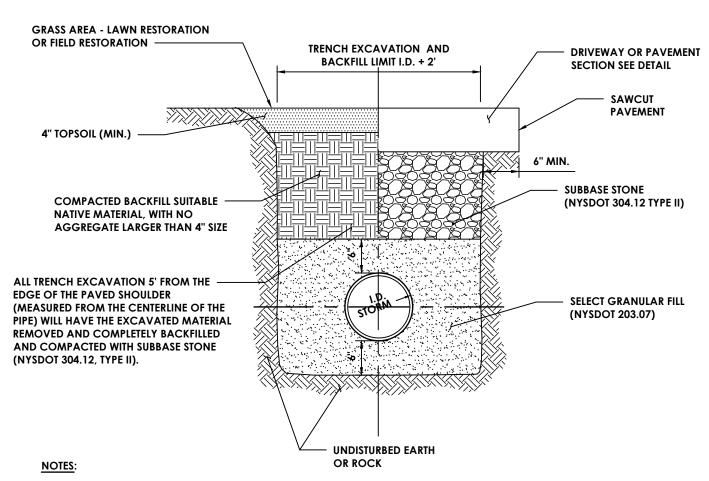
RHINEBECK, NY 12572

**REVISION SCHEDULE** 

SHEET INFORMATION	
Issued	Scale
3/9/2022	AS NOTED

Project Status DESIGN Drawn By Checked By ALL

KRS Drawing Title STORMWATER DETAILS - 1



- CONTRACTOR TO PROVIDE SAFE EXCAVATION; SLOPE TRENCH WALLS, USE TRENCH BOX, OR SHEETING & BRACING PER OSHA
  SPECIFICATIONS. TRENCH BOX OR SHEETING AND BRACING TO BE LIFTED ABOVE THE SPRING LINE OR PIPE BEFORE BACKFILLING
  ABOVE SPRING LINE.
- 2. PAVEMENT BACKFILL AND RESTORATION REQUIREMENTS SHALL APPLY TO WORK PERFORMED UNDER PROPOSED ROADWAYS.
- 3. ALL WORK FOR STORM SEWER TRENCHING SHALL BE INCLUDED. THIS WORK INCLUDES, BUT IS NOT LIMITED TO TRENCHING, EXCAVATION AND ALL BACKFILL. NO ADDITIONAL PAYMENTS WILL BE MADE FOR BACKFILL.

STORM SEWER TRENCH



POUGHKEEPSIE, NY 12601

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15925.00
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KEARNEY REALTY &
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Project Name
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RHINEBCK

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ASTOR DR
RHINEBECK, NY 12572

SED Number
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SHEET INFORMATION

Issued

3/9/2022 AS NOTED
Project Status
DESIGN

Drawn By
KRS

Drawing Title

STORMWATER DETAILS - 2

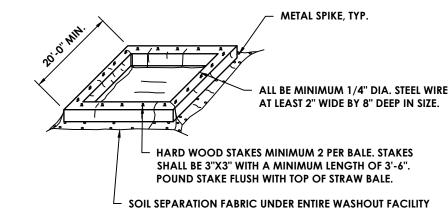
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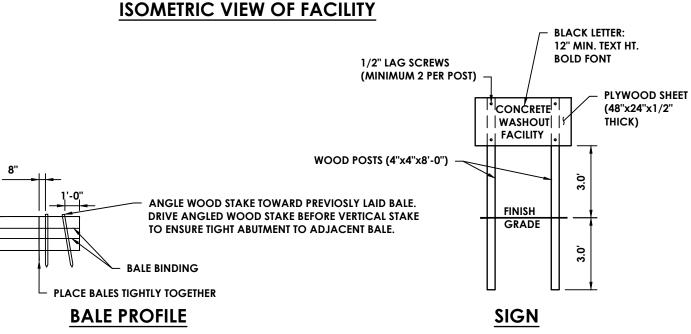
Checked By

ALL

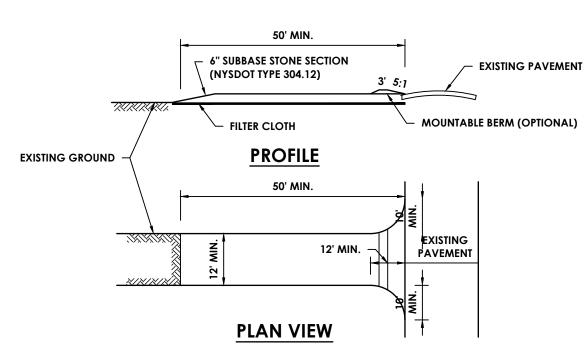
HAR C531

### PROFILE OF FACILITY





### **CONCRETE TRUCK WASHOUT**



### **CONSTRUCTION NOTES:**

- 1. STONE SIZE USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- 2. LENGTH NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
- 3. THICKNESS NOT LESS THAN SIX (6) INCHES

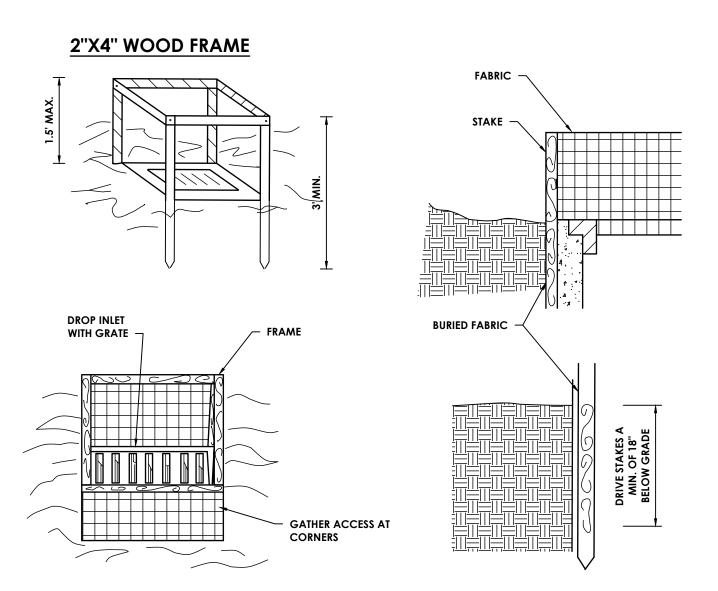
RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

- 4. WIDTH TWELEVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- 5. GEOTEXTILE WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- 6. SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWATD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH
- THE ENTRANCE. IF PIPING IS IMPRACTIVAL, A MOUNTABLE BERM WITH 5% SLOPES WILL BE PERMITTED. 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF

SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC

- 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

### STABILIZED CONSTRUCTION ENTRANCE/DRIVEWAY



### **CONSTRUCTION SPECIFICATIONS**

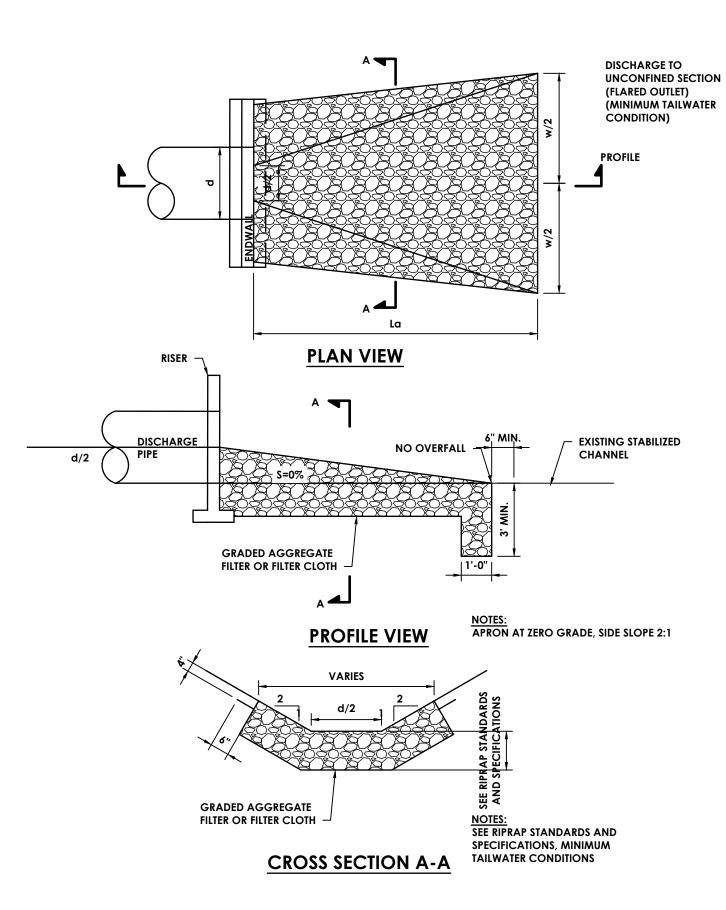
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS. 2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.

3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET. 4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN

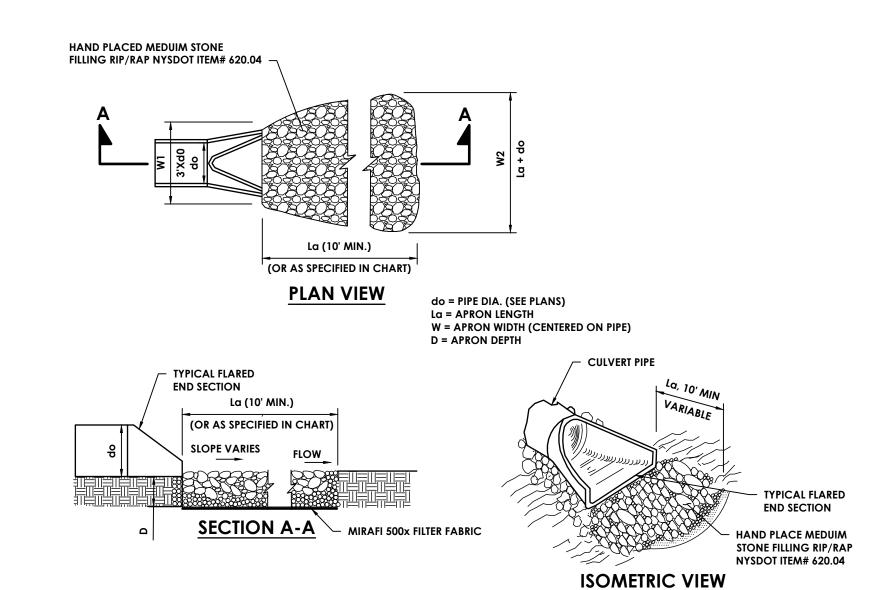
3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT. 5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.

6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY. \*MAXIMUM DRAINAGE AREA 1 ACRE

### FILTER FABRIC DROP INLET PROTECTION



### RIP-RAP STONE PROTECTION TYPE A

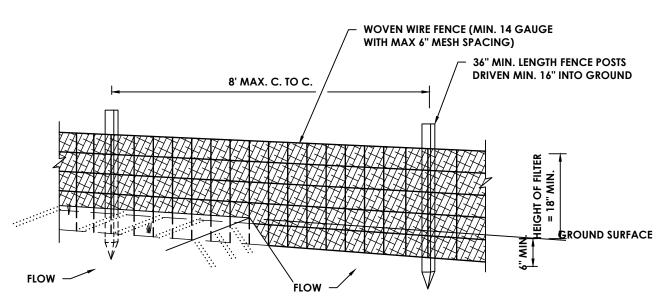


	RIP R	AP SIZING CI	HART	
PIPE DIA.	W1 - MINIMUM	W2 - MINIMUM	La - MINIMUM	D - MINIMUM
12"	3'	11'	10'	13.5"
18"	4.5'	11.5'	10'	13.5"
24"	6'	12'	10'	13.5"
36"	9'	12.5	10'	13.5"

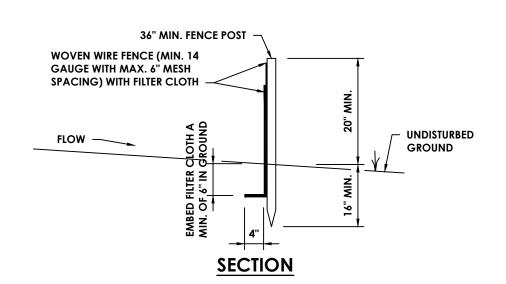
NOTES:

1. d = 1.5 TIMES THE MAXIMUM STONE BUT NO LESS THAN 6". 2. INSTALL FILTER MIRAFI 500x OR APPROVED EQUAL FILTER FABRIC BETWEEN RIP-RAP AND SUBGRADE.

### **RIP-RAP OUTLET PROTECTION DETAIL**



### PERSPECTIVE VIEW



### CONSTRUCTION SPECIFICATIONS

- 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH
- WIRE TIRES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD. 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH
- TIES SPACED EVERY 24" AT TOP OF MID SECTION. FENCE SHALL BE
- WOVEN WIRE, 6" MAXIMUM MESH OPENING 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY
- SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
- 4. PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL
- REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE

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GROUP, INC Project Name

THE HAMLET AT RHINEBCK

Project Address **ASTOR DR** 

RHINEBECK, NY 12572

SED Number N/A

REVISION SCHEDULE No. Date Description

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SHEET INFORMATION

3/9/2022 **AS NOTED** Project Status DESIGN Drawn By Checked By

KRS Drawing Title **EROSION & SEDIMENT CONTROL DETAILS** 

- MEDIUM STONE RIP-RAP SLOPE: SEE PLAN NON-WOVEN / WOVEN
GEOTEXTILE FABRIC
(SEE DESIGN ENGINEER FOR
SPECIFIC MANUFACTURER AND DRAINAGE USE, MATCH
SPEC/GEOTECH REPORT) UNDISTURBED SOIL -4" PERFORATED UNDERDRAIN (OPTIONAL, CONFIRM WITH DESIGN ENGINEER)

RIP-RAP SLOPE PROTECTION
N.T.S.

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Project Name THE HAMLET AT RHINEBCK

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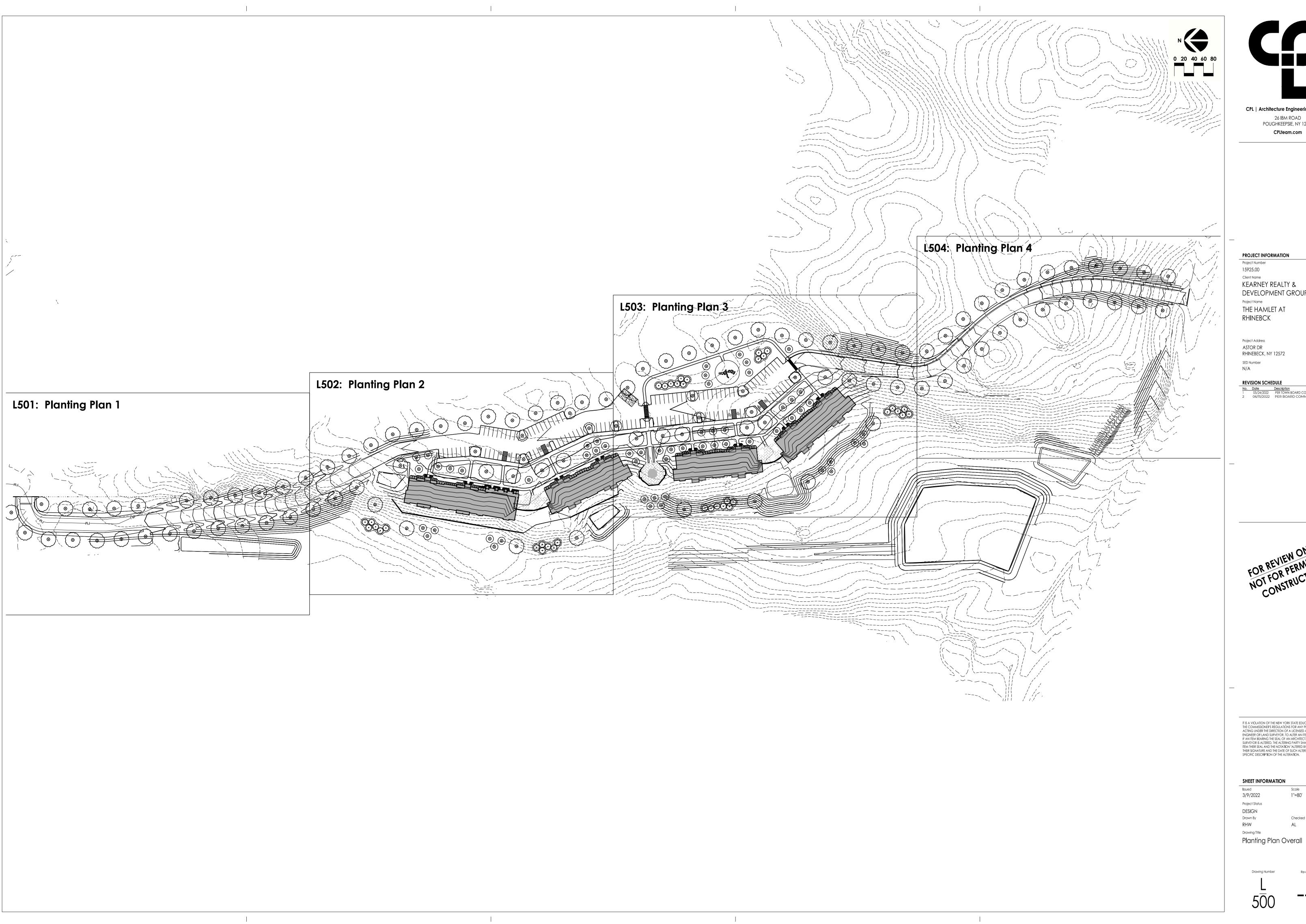
Issued 3/9/2022 AS NOTED Project Status

DESIGN Drawn By Checked By KRS ALL

EROSION & SEDIMENT CONTROL DETAILS - 2

Drawing Number

HAR C541

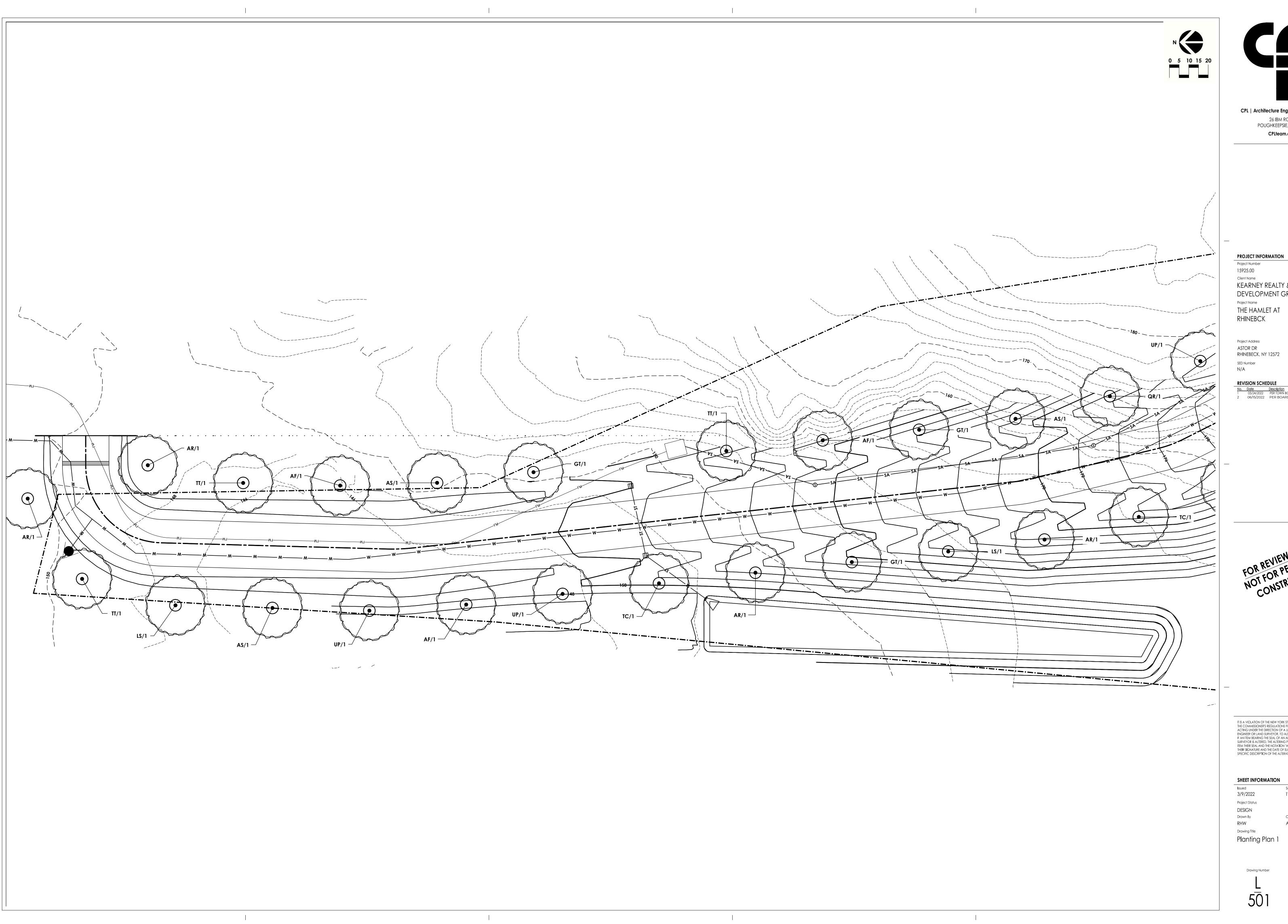




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**KEARNEY REALTY &** DEVELOPMENT GROUP, INC

ASTOR DR RHINEBECK, NY 12572

### REVISION SCHEDULE

 No.
 Date
 Description

 1
 05/24/2022
 PER TOWN BOARD COMMENTS

 2
 06/15/2022
 PER BOARD COMMENTS

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS ALTERED, THE ALTERING PARTY SHALL AFRIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

### SHEET INFORMATION

Checked By

1"=20'



CPL | Architecture Engineering Planning 26 IBM ROAD POUGHKEEPSIE, NY 12601

DEVELOPMENT GROUP, INC

 No.
 Date
 Description

 1
 05/24/2022
 PER TOWN BOARD COMMENTS

 2
 06/15/2022
 PER BOARD COMMENTS

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT. ENGINEER OR SURVEYOR IS ALTERED, THE ALTERING PARTY SHALL AFRIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

1"=20'







CPLteam.com

PROJECT INFORMATION

KEARNEY REALTY & DEVELOPMENT GROUP, INC

Project Address **ASTOR DR** 

 No.
 Date
 Description

 1
 05/24/2022
 PER TOWN BOARD COMMENTS

 2
 06/15/2022
 PER BOARD COMMENTS

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS ALTERED, THE ALTERING PARTY SHALL AFRIX TO THE ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SHEET INFORMATION

Planting Plan 4

1. INDIVIDUAL TREES AND PLANT GROUPS TO RECEIVE THIS PROTECTIVE TREATMENT ARE INDICATED ON THE DEMOLITION PLAN. WHERE SPATIAL CONSTRAINTS PREVENT INSTALLATION OF THE FENCING AS SHOWN ON THE PLANS AND THIS DETAIL, CONSULT WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

2. NO CROWN OR ROOT PRUNING SHALL BE PERFORMED INSIDE OF THE PROTECTIVE FENCING EXCEPT BY AN APPROVED ARBORIST.

3. NO EQUIPMENT SHALL BE OPERATED INSIDE THE PROTECTIVE FENCING INCLUDING DURING THE TIMES OF FENCE INSTALLATION AND REMOVAL.

### TREE PROTECTION FENCING

ORIGINAL SLOPE SHALL PASS THROUGH THE TRUNK CALIPER SHALL -POINT WHERE THE TRUNK **MEET ANSI Z60** MEETS SOIL **CURRENT EDITION FOR ROOT BALL SIZE** — 4" SHREDDED HARDWOOD BARK 4" X 8" SOIL RING -MULCH, KEEP CLEAR OF AROUND PERIMETER OF TREE TRUNK, NO MORE ROOT BALL, CENTER ON THAN 1" OF MULCH ON DOWNHILL SIDE OF TOP OF ROOT BALL ROOTBALL FOR 240° CORRECTED ROOT BALL -PLANTING SOIL MIX TO **INCLUDE 3/4 TOPSOIL** AND 1/4 ORGANIC SLOPE SIDES OF -MATTER **EXISTING SOIL** REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP HALF OF ROOTBALL GRADE EXISTING-SOIL - PLACE ROOT BALL ON **EXISTING OR** RECOMPACTED SOIL 3 x ROOT BALL DIAMETER SLIGHTLY ABOVE SURROUNDING TREE PIT

1. DO NOT HEAVILY PRUNE TREES AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

2. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN PLANTING HOLE HAS BEEN BACKFILLED POUR WATER AROUND THE ROOT BALL TO SETTLE THE SOIL.

3. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

4. WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

5. MARK THE NORTH SIDE OF THE TREE AT THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER

6. ROOT BALLS SHALL BE CORRECTED PRIOR TO PLANTING PER THE ROOT BALL CORRECTION DETAILS.

### TREE PIT ON SLOPE

**SHAVE ROOT BALL** REMOVE SOIL AND ROOTS ABOVE ROOT COLLAR **ROOT COLLAR REMOVE EXCESS SOIL REMOVE EXCESS ROOTS** NEW TOP OF ROOT BALL **ROOT FLARE SHOULD BE VISIBLE AT TOP OF ROOT** SHAVE PERIMETER OF ROOT TIPS EXPOSED AT **ROOT BALL A MAXIMUM** PERIPHERY OF ROOT BALL OF 2" THICK TO REMOVE - ALL ROOTS GROWING **ALL ROOTS GROWING AROUND PERIPHERY ARE** 

ON THE PERIPHERY

REMOVED

REMOVE DEFECTS

REMOVE STRUCTURAL ROOTS WHICH WRAP THE ROOT COLLAR AND/OR ARE GROWING OVER OTHER STRUCTURAL ROOTS BY CUTTING THEM (PARALLEL TO THE TRUNK) JUST BEFORE THEY MAKE AN ABRUPT TURN

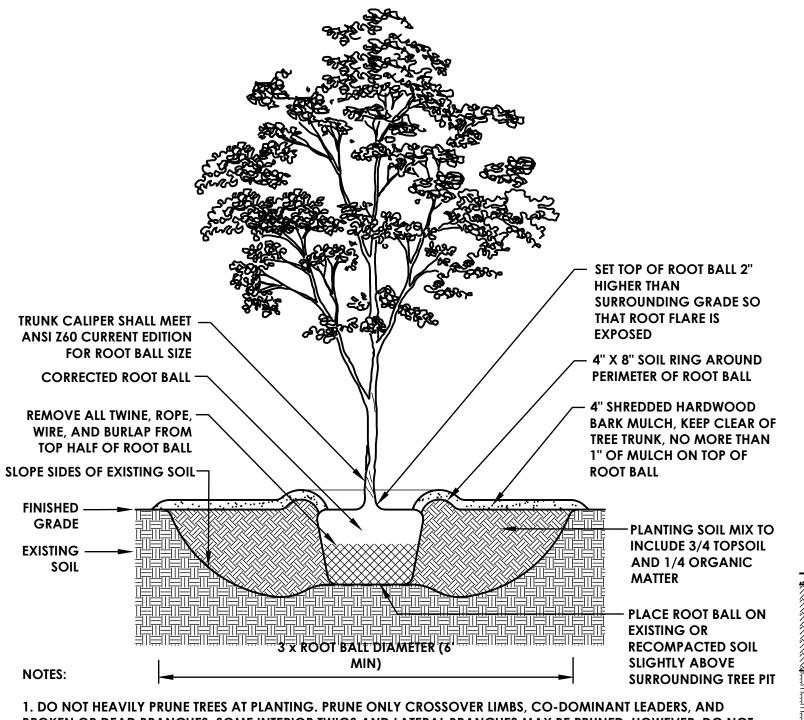
1. ALL PLANTS ARE REJECTABLE UNLESS THEY UNDERGO RECOMMENDED CORRECTION.

2. SMALL ROOTS ( $\frac{1}{4}$ " OR LESS) ON THE PERIPHERY OF THE ROOT BALL ARE COMMON WITH CONTAINER PLANT PRODUCTION. THESE SMALL ROOTS ARE NOT DEFINED AS DEFECTS BUT SHOULD BE ADDRESSED AT THE TIME OF INSTALLATION.

3. SHAVING TO BE DONE USING A SHARP BLADE OR HAND SAW ELIMINATING NO MORE THAN NEEDED TO REMOVE ALL ROOTS ON THE PERIPHERY OF THE ROOT BALL.

4. SHAVING CAN BE PERFORMED JUST PRIOR TO PLANTING OR AFTER PLACING THE ROOT BALL IN THE HOLE.

### **ROOT CORRECTION FOR CONTAINER PLANTS**



BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

2. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN PLANTING HOLE HAS BEEN BACKFILLED POUR WATER AROUND THE ROOT BALL TO SETTLE THE SOIL.

3. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

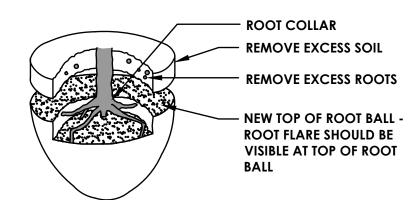
4. WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

5. MARK THE NORTH SIDE OF THE TREE AT THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER

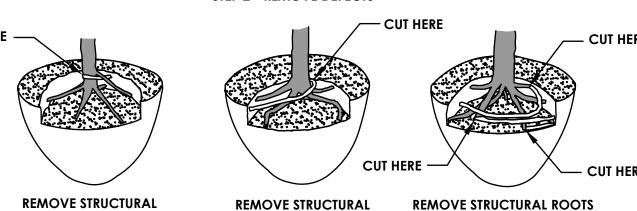
6. ROOT BALLS SHALL BE CORRECTED PRIOR TO PLANTING PER THE ROOT BALL CORRECTION DETAILS.

TREE PIT

STEP 1 - REMOVE SOIL AND ROOTS OVER THE ROOT COLLAR



**STEP 2 - REMOVE DEFECTS** 



**ROOTS WHICH WRAP** THE ROOT COLLAR

REMOVE STRUCTURAL **ROOTS WHICH ARE** WHICH WRAP THE ROOT COLLAR GROWING OVER BY CUTTING THEM JUST BEFORE OTHER STRUCTURAL THEY MAKE AN ABRUPT TURN **ROOTS** 

REMOVE STRUCTURAL ROOTS

WHICH EXTEND BEYOND THE **ROOT BALL** 

REMOVE STRUCTURAL ROOTS DEFLECTED ON ROOT BALL PERIPHERY. SMALL ROOTS (1/4" OR LESS) AT THE PERIPHERY OF THE ROOT BALL ARE NOT DEFINED AS DEFECTS AND DO NOT NEED TO BE REMOVED.

1. ALL TREES ARE REJECTABLE UNLESS THEY UNDERGO RECOMMENDED CORRECTION.

2. ADJUST HOLE DEPTH TO ACCOUNT FOR THE REMOVAL OF EXCESS SOIL AND ROOTS OVER THE COLLAR AND ACHIEVE APPROPRIATE ELEVATION OF ROOT FLARE.

### ROOT CORRECTION FOR BALLED AND **BURLAPPED PLANTS**

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26 IBM ROAD POUGHKEEPSIE, NY 12601

CPLteam.com

PROJECT INFORMATION

**KEARNEY REALTY &** 

THE HAMLET AT

RHINEBECK, NY 12572

**REVISION SCHEDULE** 

2 06/15/2022 PER BOARD COMMENTS

RHINEBCK

Project Address ASTOR DR

SED Number

N/A

DEVELOPMENT GROUP, INC

15925.00

THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

3/9/2022 as noted Project Status DESIGN Drawn By RHW

REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

FINISHED GRADE → PLANTING SOIL MIX TO INCLUDE 3/4 **TOPSOIL AND 1/4 ORGANIC MATTER** 

RECOMPACTED SOIL 1. DO NOT HEAVILY PRUNE SHRUBS AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT

- 4" X 8" SOIL RING AROUND

PERIMETER OF ROOT BALL

- 4" SHREDDED HARDWOOD

MULCH ON TOP OF ROOT

BARK MULCH, KEEP CLEAR OF

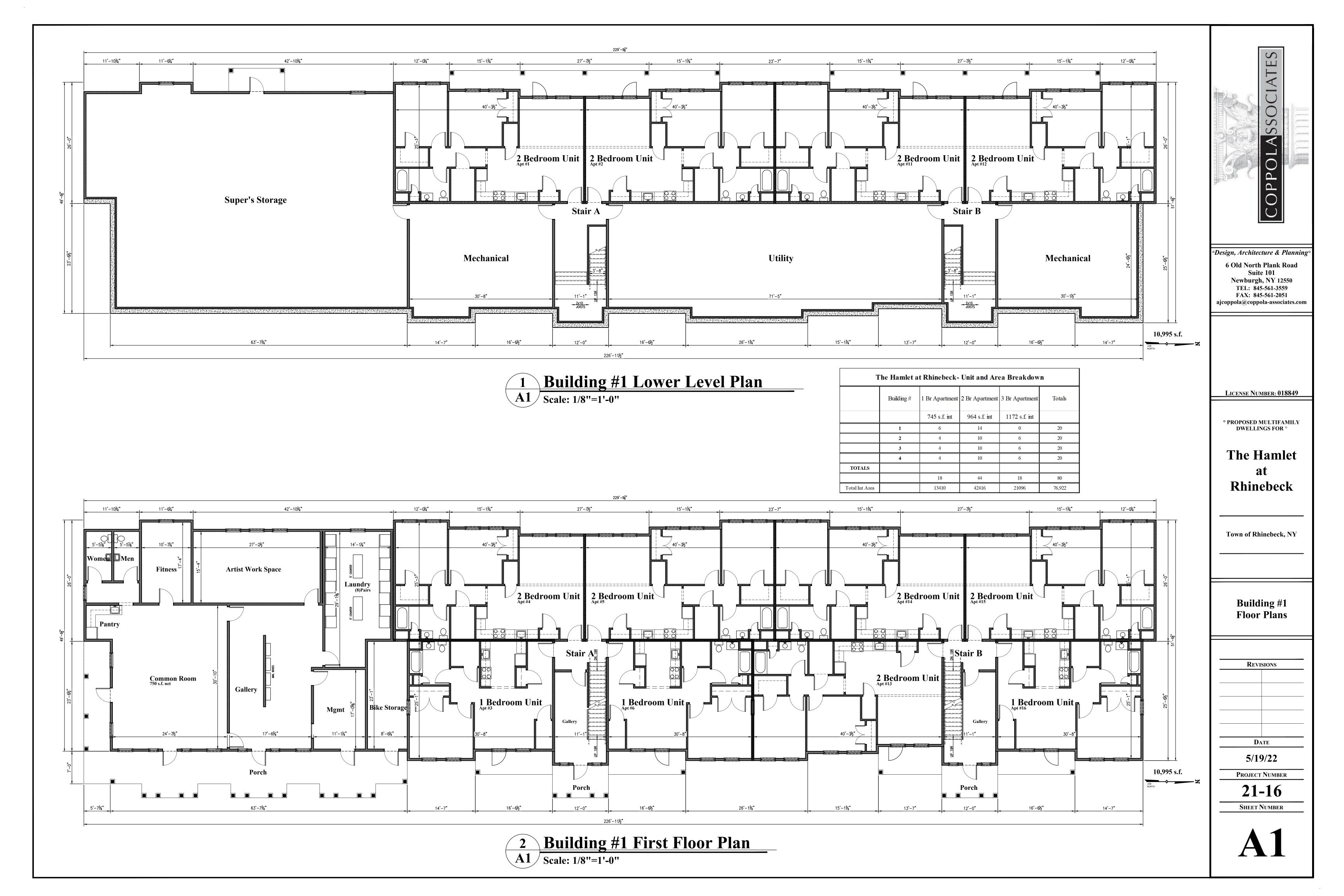
STEMS, NO MORE THAN 1" OF

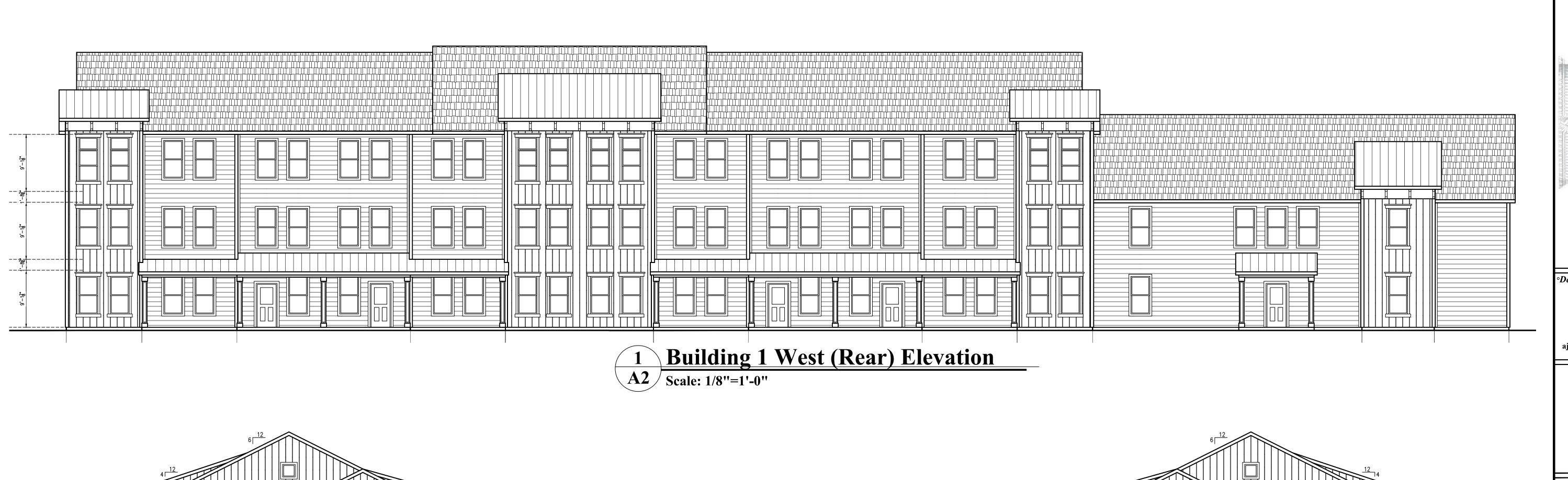
2. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE SHRUB. DO NOT OVER COMPACT. WHEN PLANTING HOLE HAS BEEN BACKFILLED POUR WATER AROUND THE ROOT MASS TO SETTLE THE SOIL.

3. ROOT BALLS OF BOTH CONTAINERIZED AND BALLED AND BURLAPPED PLANTS SHALL BE CORRECTED PRIOR TO PLANTING PER THE ROOT BALL CORRECTION DETAILS.

CORRECTED BALLED AND BURLAPPED OR CONTAINERIZED ROOT BALL SHEET INFORMATION EXISTING SOIL PLACE ROOT BALL ON EXISTING OR

Drawing Title Landscape Details





2 Building 1 North Elevation
Scale: 1/8"=1'-0"

Typical Exterior Finishes:
Fibercement Siding- Hardie Navajo Beige
Fibercement Board & Batten- Hardie Woodstock Brown
Fiberglass Shingles- GAF Weathered Wood
Trim Boards, Soffits- White
Aluminum Accent Roofing- Woodstock Brown
Energy Star Windows- White



3 Building 1 South Elevation
A2 Scale: 1/8"=1'-0"



**Building 1 East (Front) Elevation**A2 Scale: 1/8"=1'-0"

COPPOLASSOCIATES

°Design, Architecture & Planning

6 Old North Plank Road
Suite 101
Newburgh, NY 12550
TEL: 845-561-3559
FAX: 845-561-2051
ajcoppola@coppola-associates.com

LICENSE NUMBER: 018849

° PROPOSED MULTIFAMILY DWELLINGS FOR °

The Hamlet at Rhinebeck

Town of Rhinebeck, NY

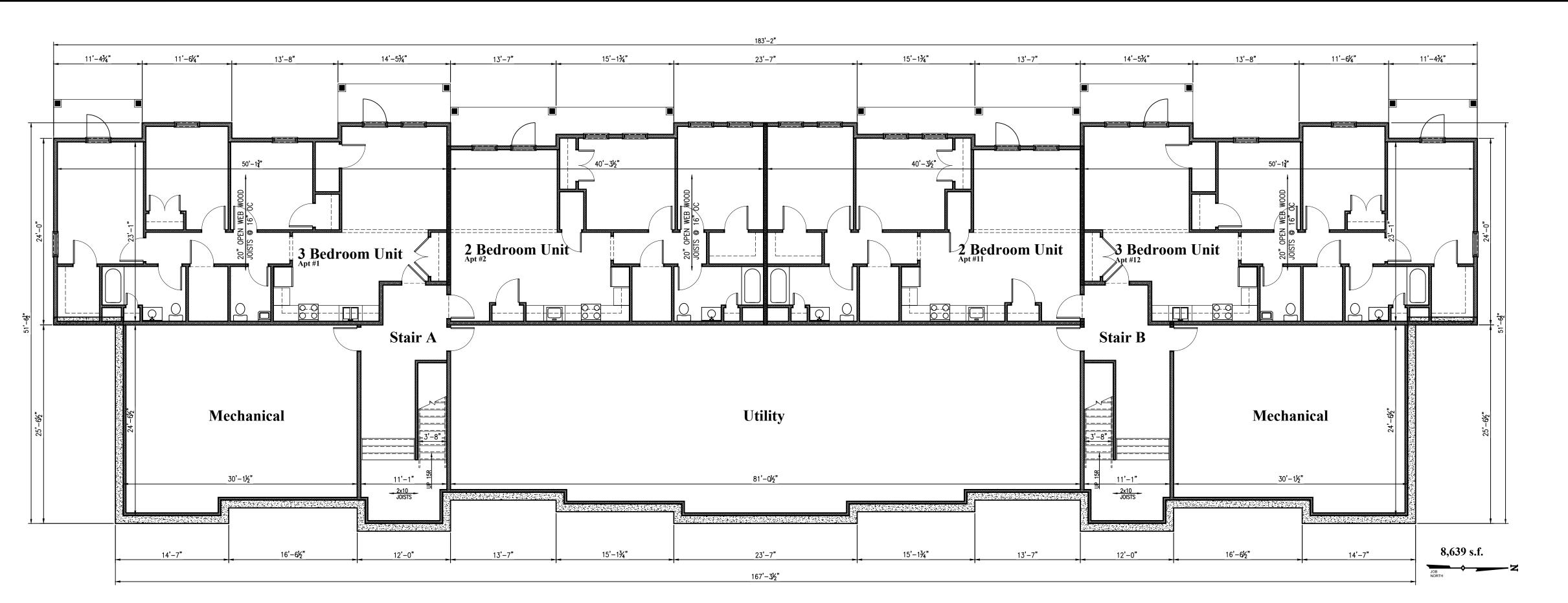
**Building 1 Elevations** 

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PROJECT	Number

21-16

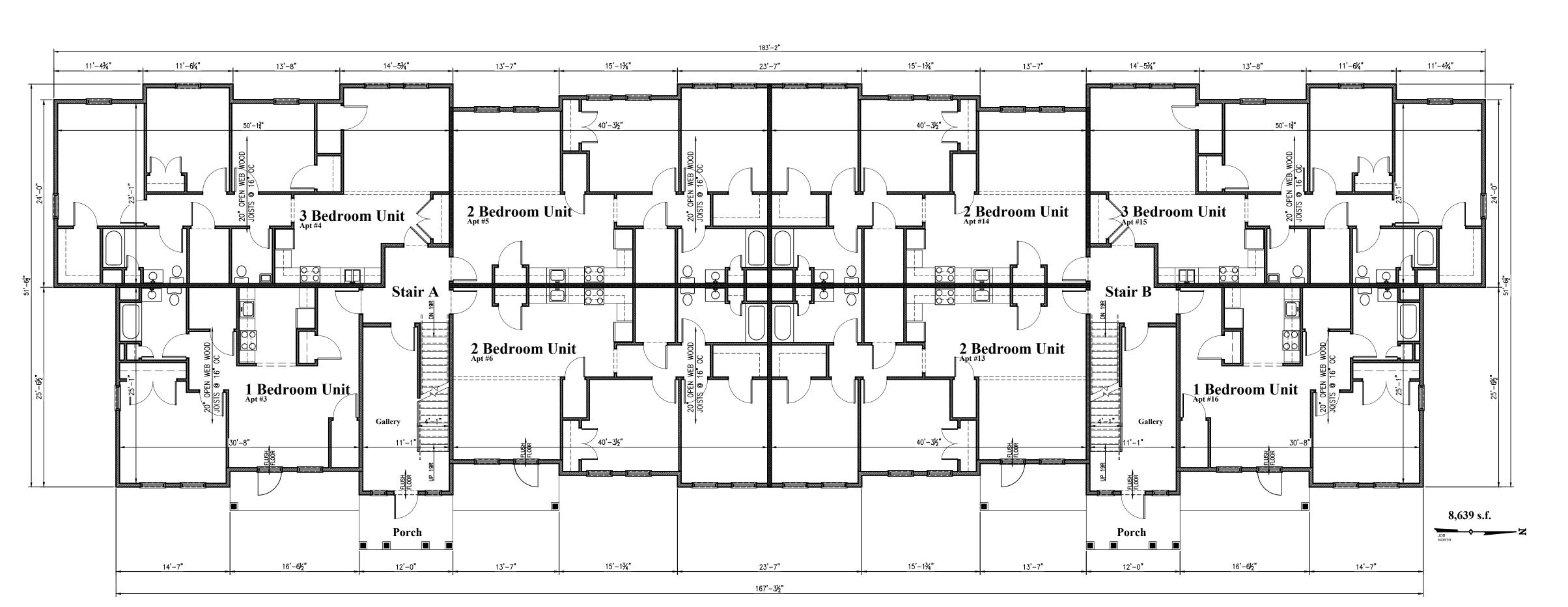
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**A2** 



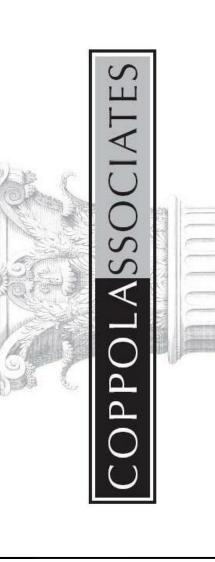
Buildings 2,3,4 Lower Level Plan

Scale: 1/8"=1'-0"



**Buildings 2,3,4 First Floor Plan** 

A3 | Scale: 1/8"=1'-0"



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° PROPOSED MULTIFAMILY DWELLINGS FOR °

> The Hamlet at Rhinebeck

Town of Rhinebeck, NY

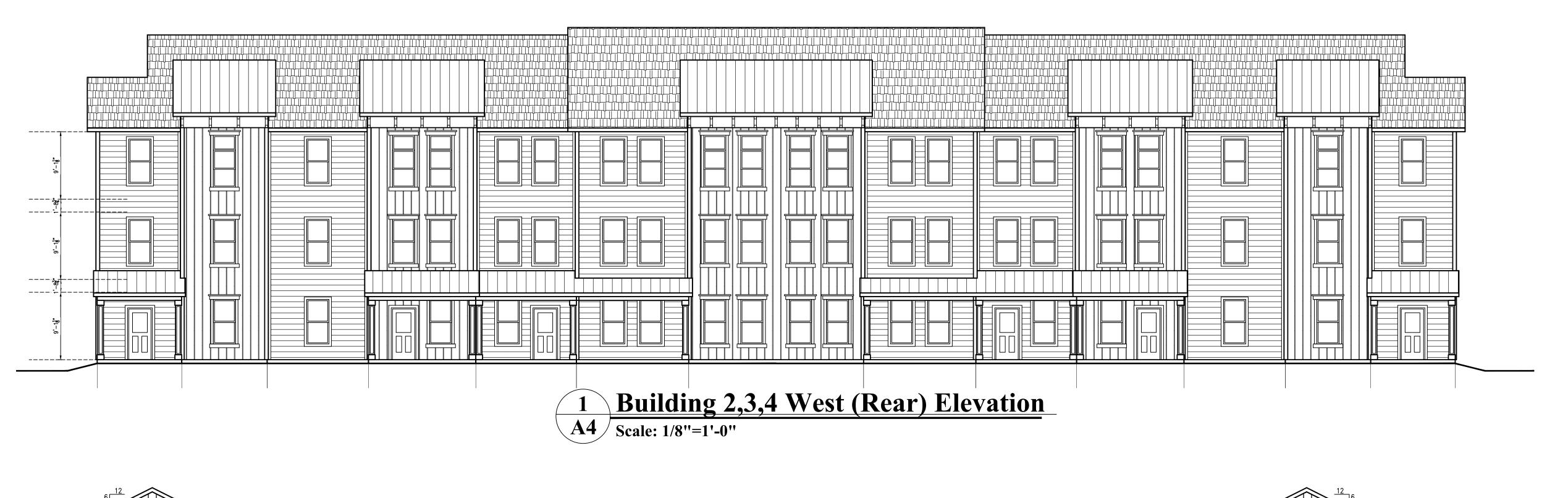
**Buildings 2,3,4** Floor Plans

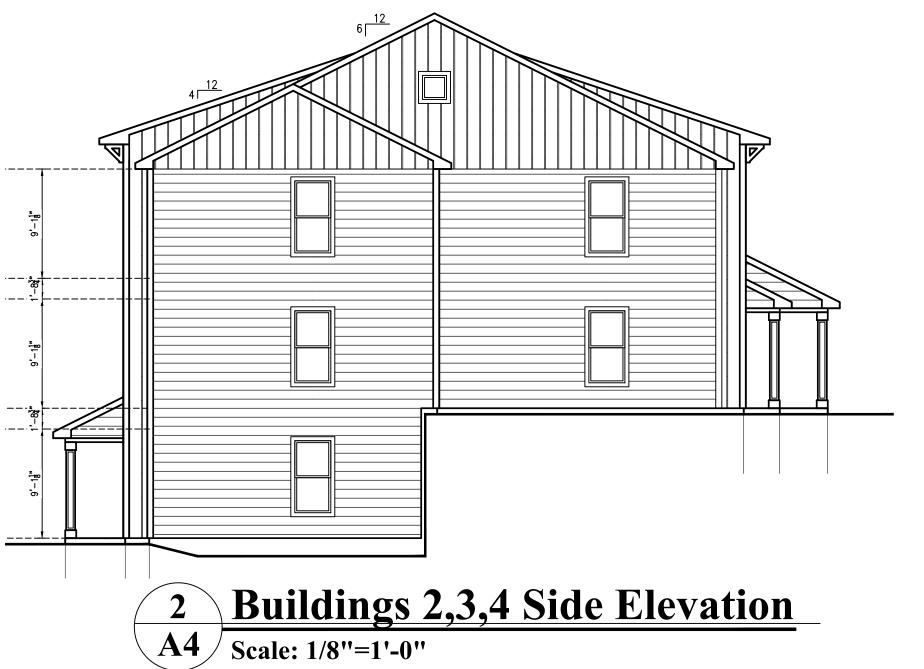
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Project Number

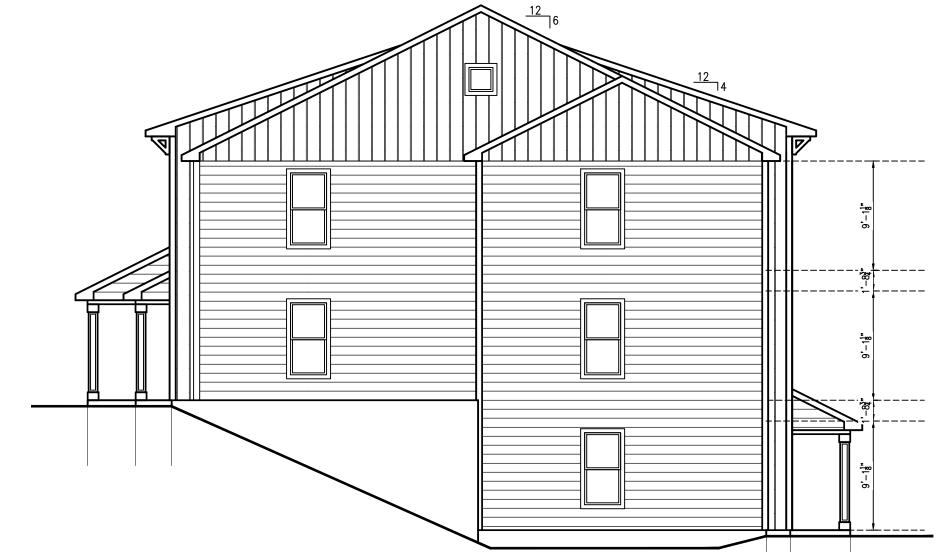
**21-16** 

SHEET NUMBER





**Typical Exterior Finishes:** Fibercement Siding- Hardie Navajo Beige Fibercement Board & Batten- Hardie Woodstock Brown Fiberglass Shingles- GAF Weathered Wood Trim Boards, Soffits- White Aluminum Accent Roofing- Woodstock Brown **Energy Star Windows- White** 

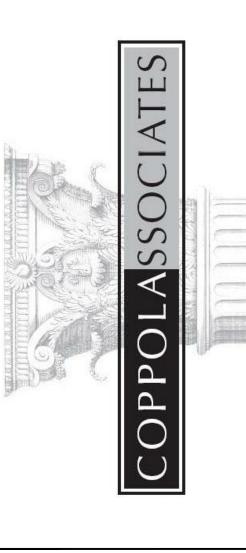


Buildings 2,3,4 Side Elevation

A4 Scale: 1/8"=1'-0"



**Building 2,3,4 East (Front) Elevation** A4 Scale: 1/8"=1'-0"



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 $^{\circ}$  PROPOSED MULTIFAMILY DWELLINGS FOR  $^{\circ}$ 

The Hamlet at Rhinebeck

Town of Rhinebeck, NY

**Buildings 2,3,4** Elevations

F	REV	ISIONS	
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PROJECT NUMBER

**21-16** 

SHEET NUMBER